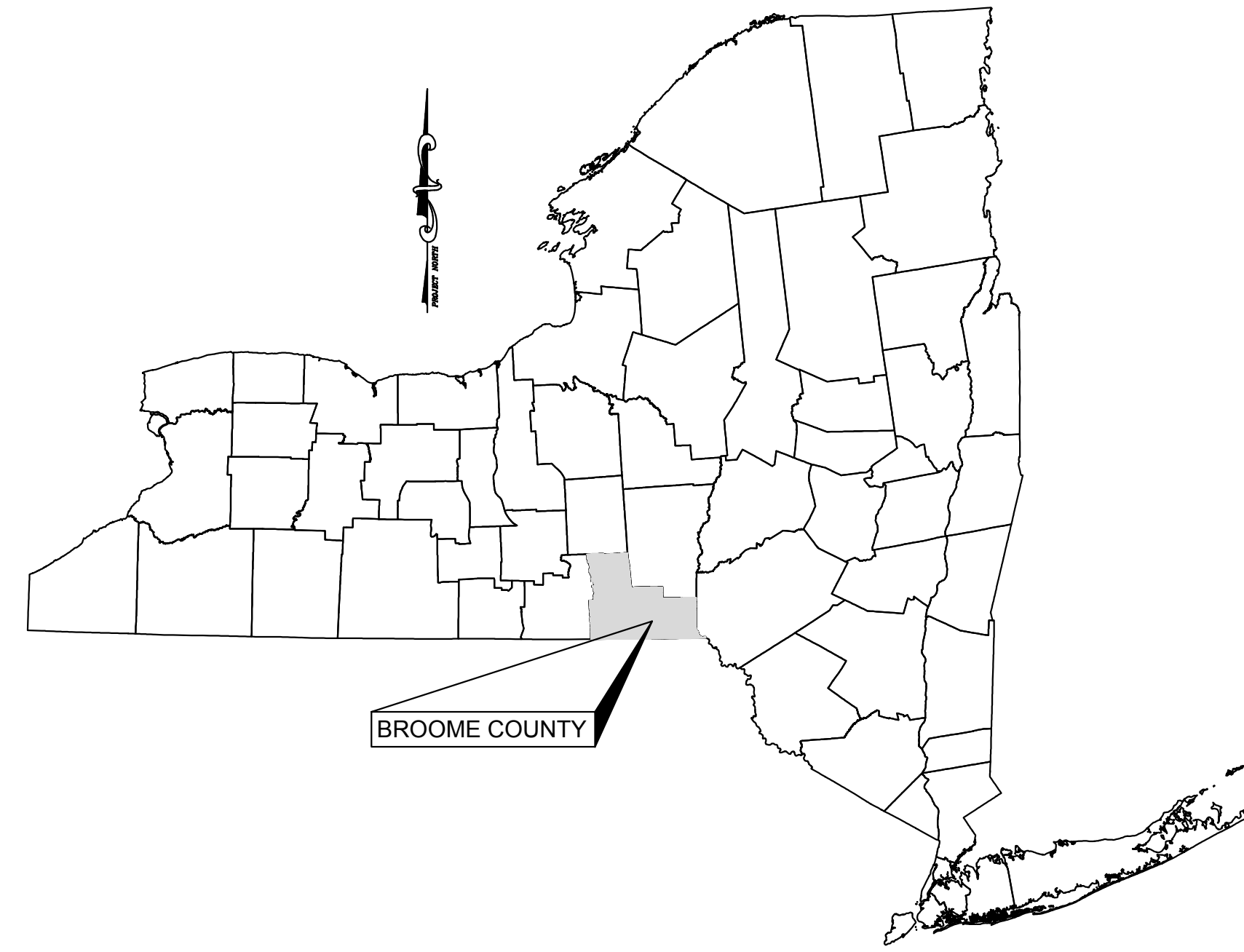


MIXED-USE PARKING GARAGE AND HOUSING DEVELOPMENT

WATER STREET PARKING GARAGE

183 WATER STREET



CITY OF BINGHAMTON

COUNTY OF BROOME

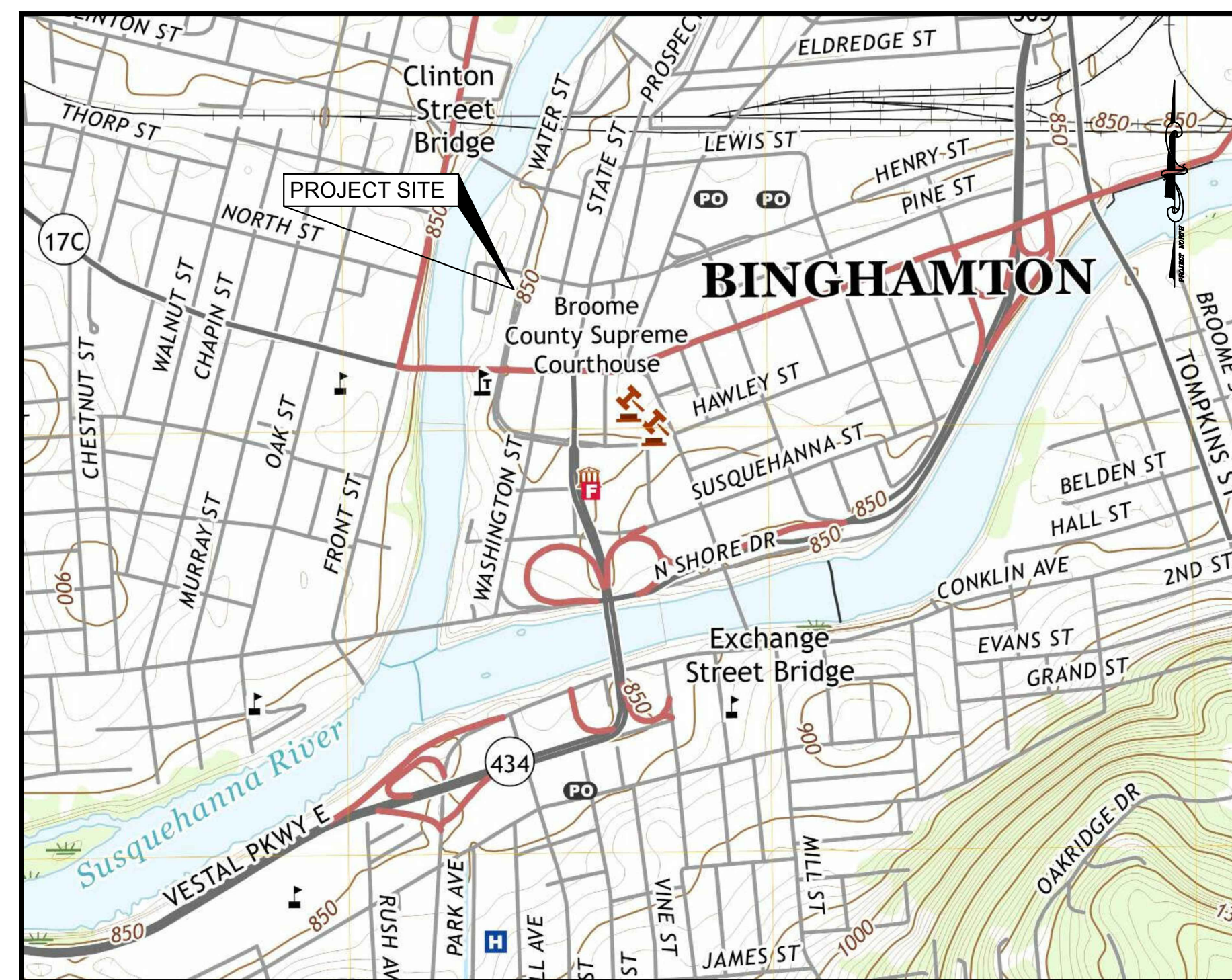
STATE OF NEW YORK

APPLICANT/DEVELOPER:

PIKE DEVELOPMENT
 171 FIFTH AVENUE
 PATERSON, NEW JERSEY 07524

INDEX OF DRAWINGS

<u>SHEET</u>	<u>TITLE</u>
C010	EXISTING SITE CONDITIONS
C020	DEMOLITION PLAN
C100	LAYOUT PLAN
C110	GRADING PLAN
C120	UTILITY PLAN
C200	CITY OF BINGHAMTON STANDARD DETAILS



LOCATION MAP
 SCALE: 1"=1000'

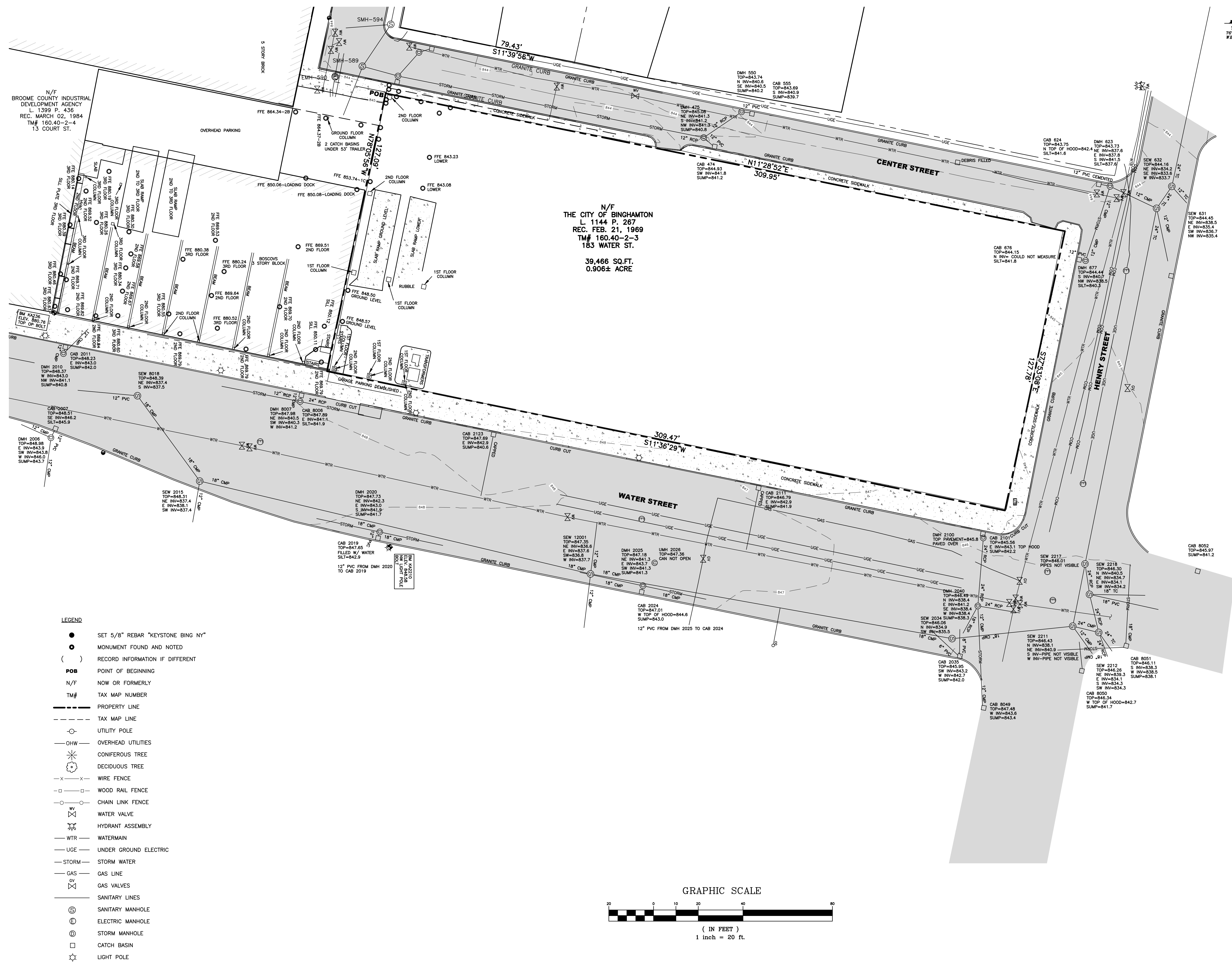
DRAWINGS PREPARED BY

KEYSTONE ASSOCIATES
 ARCHITECTS, ENGINEERS AND SURVEYORS, LLC
 58 Exchange Street
 Binghamton, New York 13901
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 Fax: 607.722.2515
 Email: info@keyscomp.com
 www.keyscomp.com

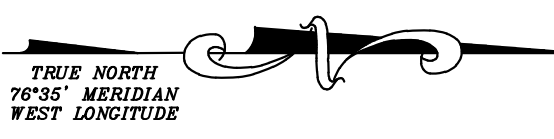
PROJECT NO. 3505.14622
 SEPTEMBER 07, 2022

MARK W. PARKER, P.E. LIC. No. 093972
 ALTERATIONS NOT CONFORMING TO SECTION 7209, SUBDIVISION 2,
 NEW YORK STATE EDUCATION LAW ARE PROHIBITED BY LAW.

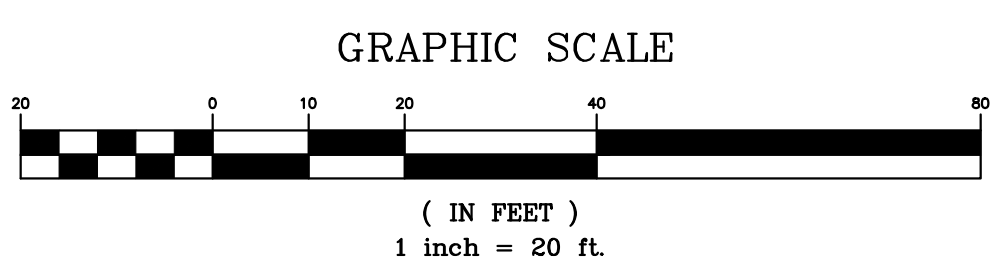
NOT FOR CONSTRUCTION



N/F
 THE CITY OF BINGHAMTON
 L. 1144 P. 267
 REC. FEB. 21, 1969
 TM# 160.40-2-3
 183 WATER ST.
 39,466 SQ.FT.
 0.906± ACRE



- LEGEND**
- SET 5/8" REBAR "KEYSTONE BING NY"
 - MONUMENT FOUND AND NOTED
 - () RECORD INFORMATION IF DIFFERENT
 - POB POINT OF BEGINNING
 - N/F NOW OR FORMERLY
 - TM# TAX MAP NUMBER
 - PROPERTY LINE
 - - - TAX MAP LINE
 - UTILITY POLE
 - OHW OVERHEAD UTILITIES
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - x-x- WIRE FENCE
 - WOOD RAIL FENCE
 - CHAIN LINK FENCE
 - ⊕ WATER VALVE
 - ⊕ HYDRANT ASSEMBLY
 - WTR WATERMAIN
 - UGE UNDER GROUND ELECTRIC
 - STORM- STORM WATER
 - GAS- GAS LINE
 - ⊕ GAS VALVES
 - SANITARY LINES
 - SANITARY MANHOLE
 - ELECTRIC MANHOLE
 - STORM MANHOLE
 - CATCH BASIN
 - ⊕ LIGHT POLE



MIXED-USE PARKING GARAGE AND HOUSING DEVELOPMENT
WATER STREET PARKING GARAGE
 183 WATER STREET
 CITY OF BINGHAMTON
 BROOME COUNTY, NY

EXISTING SITE CONDITIONS

SHEET NO.
C010

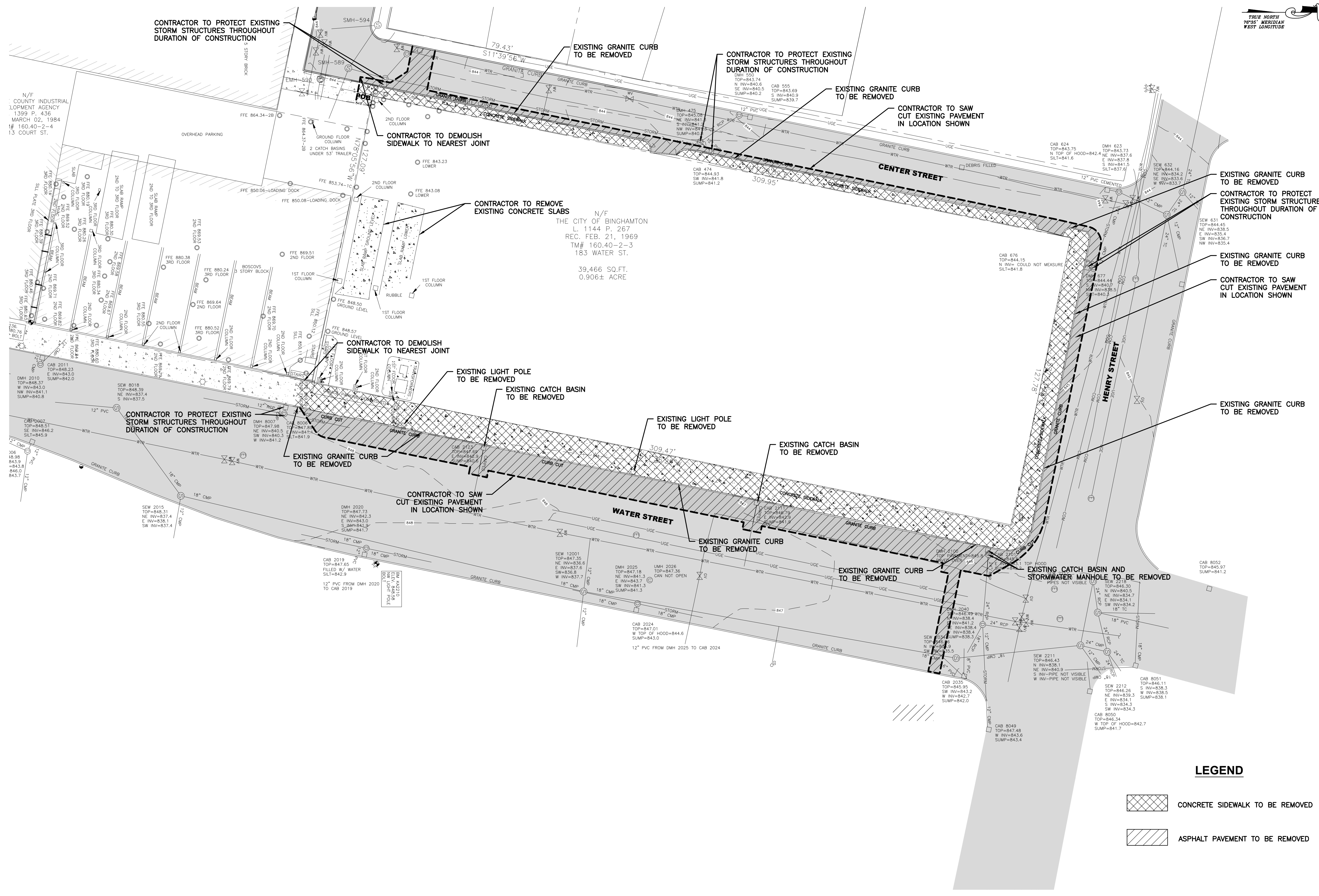
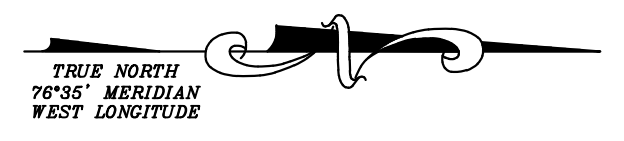
PROJECT NO.
 3505.14622

DATE: 09/07/22

SAD FILE NO. 3505.14622-SITE

WARNING:
 It is a violation of Section 7209, the State Engineering Law, for any person who is not a duly Licensed Professional Architect, Engineer, or Surveyor to prepare, seal, or use any professional engineering, architectural, or surveying plans, specifications, data or reports in which the name of a Licensed Professional Engineer, Architect, or Surveyor is used.

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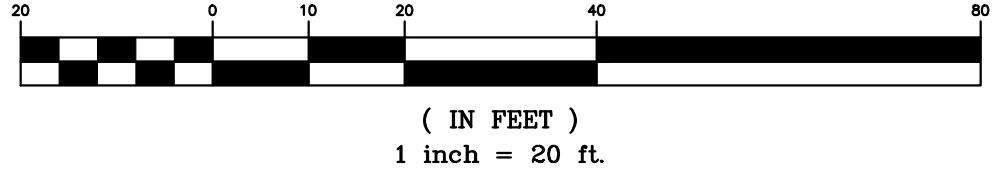
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 THE CITY OF BINGHAMTON
 L. 1144 P. 267
 REC. FEB. 21, 1969
 TM# 160.40-2-3
 183 WATER ST.
 39,466 SQ.FT.
 0.906± ACRE

NOT FOR CONSTRUCTION

LEGEND

- CONCRETE SIDEWALK TO BE REMOVED
- ASPHALT PAVEMENT TO BE REMOVED

GRAPHIC SCALE



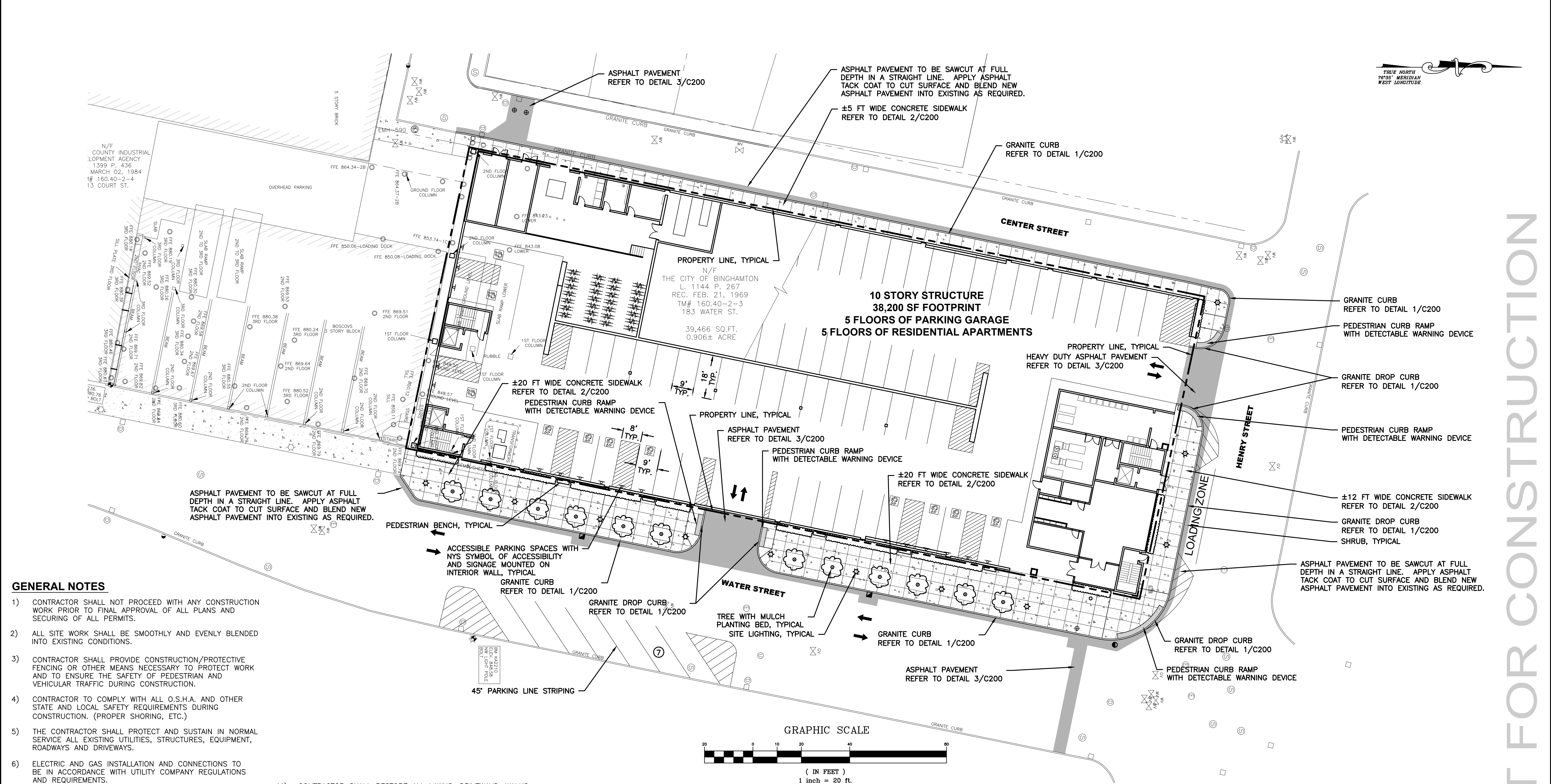
MIXED-USE PARKING GARAGE AND HOUSING DEVELOPMENT
WATER STREET PARKING GARAGE
 183 WATER STREET
 CITY OF BINGHAMTON
 BROOME COUNTY, NY

DEMOLITION PLAN

SHEET NO.
C020
 PROJECT NO.
 3505.14622
 DATE:
 09/07/22
 S&D FILE NO. 3505.14622-SITE

WARNING:
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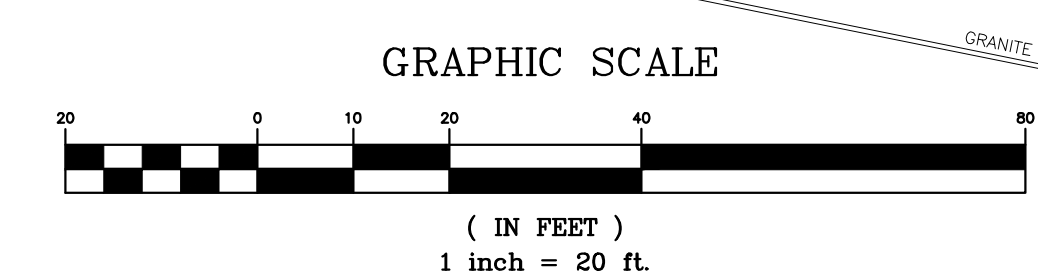


GENERAL NOTES

- CONTRACTOR SHALL NOT PROCEED WITH ANY CONSTRUCTION WORK PRIOR TO FINAL APPROVAL OF ALL PLANS AND SECURING OF ALL PERMITS.
- ALL SITE WORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS.
- CONTRACTOR SHALL PROVIDE CONSTRUCTION/PROTECTIVE FENCING OR OTHER MEANS NECESSARY TO PROTECT WORK AND TO ENSURE THE SAFETY OF PEDESTRIAN AND VEHICULAR TRAFFIC DURING CONSTRUCTION.
- CONTRACTOR TO COMPLY WITH ALL O.S.H.A. AND OTHER STATE AND LOCAL SAFETY REQUIREMENTS DURING CONSTRUCTION. (PROPER SHORING, ETC.)
- THE CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS AND DRIVEWAYS.
- ELECTRIC AND GAS INSTALLATION AND CONNECTIONS TO BE IN ACCORDANCE WITH UTILITY COMPANY REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL FILL IN, AND THEN RE-EXCAVATE AS NECESSARY TO RESUME WORK, ANY EXCAVATIONS OR TRENCHES AT LOCATIONS AND AS OFTEN AS MAY BE REQUIRED TO ENSURE PROTECTION OF THE WORK, ANY ADJACENT EXISTING FACILITIES, OR THE PUBLIC.
- THE CONTRACTOR SHALL CLEAN UP THE JOB SITE ON A DAILY BASIS BEFORE LEAVING THE JOB. ALL RUBBISH MUST BE CLEANED UP AND CONSTRUCTION EQUIPMENT MUST BE PROPERLY TAKEN CARE OF AND STORED AT THE END OF THE DAY.
- CONTRACTOR TO PROVIDE CLEARING AND GRUBBING NECESSARY TO COMPLETE THE PROJECT.
- ALL EXISTING TOPOGRAPHIC FEATURES WHICH INCLUDE BUT ARE NOT LIMITED TO; WALKS, WALLS, CURBS, STEPS, TREES, SHRUBS AND UTILITIES ADJACENT TO WORK AREA TO BE MAINTAINED IN THEIR CURRENT CONDITION UNLESS OTHERWISE NOTED ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE CONDITION AND LOCATION OF THESE ITEMS IN THE FIELD PRIOR TO STARTING WORK. ANY ITEMS FOUND TO CONFLICT WITH THE WORK REQUIRED AS PART OF THIS CONTRACT SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL FIELD VERIFY EXISTING TOPOGRAPHY PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS. ANY ELEVATION DISCREPANCIES WHICH WILL AFFECT THE WORK REQUIRED AS PART OF THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER. COMMENCEMENT OF WORK WITHOUT THIS WRITTEN NOTIFICATION SHALL CONSTITUTE CONTRACTOR ACCEPTANCE OF THE EXISTING TOPOGRAPHY INDICATED ON THE DRAWINGS AS ACCURATE. NO ADJUSTMENT TO THE CONTRACT WILL BE MADE FOR DISCREPANCIES BROUGHT TO THE ENGINEER'S ATTENTION AFTER WORK HAS BEGUN.

- CONTRACTOR SHALL RESTORE ALL LAWNS, DRIVEWAYS, WALKS, WALL, CURBS, FENCES, ETC. DISTURBED BY CONSTRUCTION. LAWN SHALL BE FINE GRADED, SEEDED, FERTILIZED AND MULCHED PER ACCEPTABLE LANDSCAPE PRACTICES.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKEOUT. WHERE APPLICABLE STAKEOUT SHALL BE COMPLETED BY A LICENSED LAND SURVEYOR.
- MINIMUM OF 18" VERTICAL SEPARATION IS REQUIRED BETWEEN WATER MAIN AND SANITARY MAIN CROSSING AS PER STATE HEALTH DEPARTMENT REQUIREMENTS. PARALLEL LINES MUST BE SEPARATE, MINIMUM 10' HORIZONTALLY O.D. TO O.D.
- CONSTRUCTION OBSERVATION BY KEYSTONE ASSOCIATES ARCHITECTS, ENGINEERS AND SURVEYORS, LLC (KEYSTONE) IS NOT SUPERVISORY. ACCORDINGLY, KEYSTONE CAN NEITHER GUARANTEE THE PERFORMANCE OF THE CONSTRUCTION CONTRACTS BY CONTRACTORS NOR ASSUME RESPONSIBILITY FOR CONTRACTORS FAILURE TO FURNISH AND PERFORM WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- INSTALL SOIL EROSION AND SEDIMENT CONTROL FACILITIES PRIOR TO START OF EARTHWORK OPERATIONS PER LOCAL GOVERNING SOIL AND WATER CONSERVATION AGENCY RECOMMENDATIONS AND STANDARDS.
- UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA ARE SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK & SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM HIS WORK. CONTRACTORS SHALL NOTIFY UDIG NY (FORMERLY DIS SAFELY) 1-800-962-7962 IN ACCORDANCE WITH 16 NYCRR PART 753.

- CONTRACTOR TO ARRANGE A PRE-CONSTRUCTION CONFERENCE WITH KEYSTONE ASSOCIATES ARCHITECTS, ENGINEERS AND SURVEYORS, LLC OR AN AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION.
- CONTRACTOR MUST VERIFY THE ACCEPTABILITY OF ALL CONSTRUCTION MATERIALS WITHIN THE CITY RIGHT-OF-WAY WITH THE CITY ENGINEER PRIOR TO ORDERING.
- INSTALLATION AND MATERIAL SPECIFICATIONS FOR STORM SEWER, SANITARY SEWER AND WATER SERVICE CONNECTIONS SHALL CONFORM TO THE CITY STANDARD DETAILS AND REQUIREMENTS. INSTALLATION PROCEDURES AND MATERIALS MUST BE VERIFIED WITH THE CITY PRIOR TO CONSTRUCTION.
- RESTORATION OF PAVEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL RESTORE PAVEMENT AS DETAILED. ALL PAVEMENT AND RIGHT-OF-WAY RESTORATION WORK TO BE DONE TO THE SATISFACTION OF THE CITY ENGINEER.
- ALL BOUNDARY AND/OR TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY KEYSTONE ASSOCIATES ARCHITECTS, ENGINEERS AND SURVEYORS, LLC. IT IS THE BASE INFORMATION USED TO PREPARE THE WORK INDICATED ON THE DRAWINGS. BY INCLUSION OF THIS SURVEY INFORMATION IN THIS SET OF DOCUMENTS, KEYSTONE ASSOCIATES ARCHITECTS, ENGINEERS AND SURVEYORS, LLC DOES NOT ASSUME RESPONSIBILITY FOR INTERPRETATIONS OR CONCLUSIONS DRAWN THEREFROM BY THE CONTRACTOR.



URRP SUMMARY

PARCEL SIZE:	0.91 ACRES
EXISTING IMPERVIOUS AREA:	100%
PROPOSED IMPERVIOUS AREA:	97%
NET REDUCTION IN IMPERVIOUS:	-3%
THERE IS NO INCREASE IN IMPERVIOUS AREA, THEREFORE NO SITE DETENTION IS REQUIRED.	

ZONING NOTES

ZONING DISTRICT: C-2 DOWNTOWN BUSINESS

	REQUIRED	ACTUAL
MINIMUM LOT SIZE:	6,000 SF	39,466 SF
MINIMUM LOT FRONTAGE:	0 LF	128 LF
MAXIMUM LOT COVERAGE:	90%	*100%
MINIMUM YARD DIMENSIONS:		
PRINCIPAL:		
FRONT:	0 LF	0 LF
REAR:	20 LF	*0 LF
SIDE:	0 LF	0 LF
MAXIMUM BUILDING HEIGHT:	120 FT	*125 FT

OFF STREET PARKING:
 DWELLING, 1-5 BEDROOM = 1 SPACE FOR FIRST BEDROOM PLUS 0.5 SPACES PER EACH ADDITIONAL BEDROOM
 GENERAL RETAIL = 1 SPACE PER 500 SF

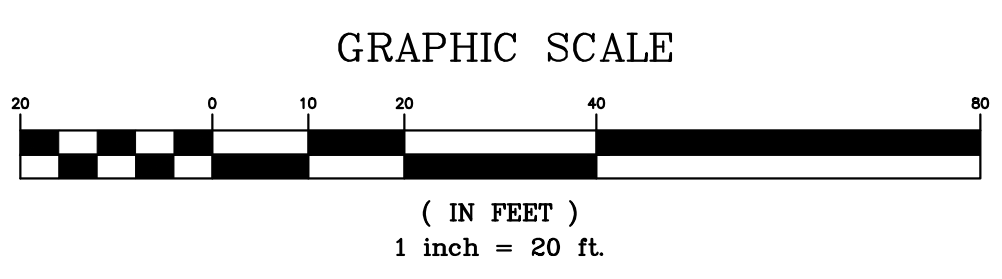
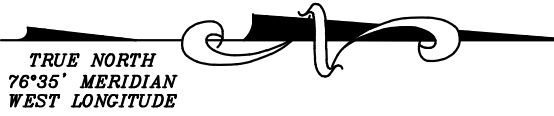
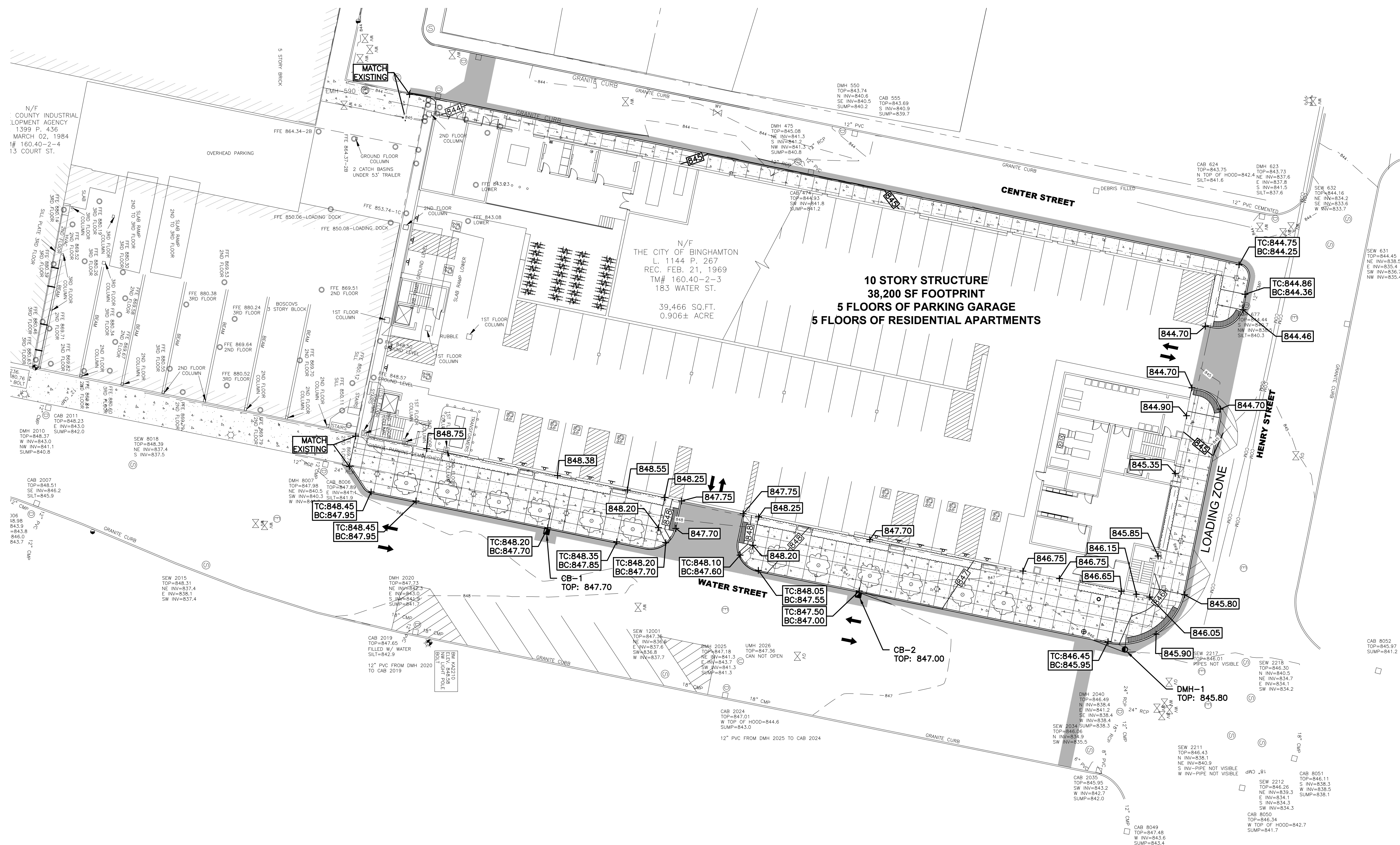
68 SINGLE BEDROOM UNITS = 68 SPACES
 52 TWO BEDROOM UNITS = 78 SPACES
 BOSCOVS = ±30,000 SF PER FLOOR x 4 FLOORS = 240 SPACES
 500 SF

TOTAL PARKING:	REQUIRED	ACTUAL
	386	500

* VARIANCES REQUIRED

MIXED-USE PARKING GARAGE AND HOUSING DEVELOPMENT
WATER STREET PARKING GARAGE
183 WATER STREET
 CITY OF BINGHAMTON
 BROOME COUNTY, NY

LAYOUT PLAN



NOT FOR CONSTRUCTION

MIXED-USE PARKING GARAGE AND HOUSING DEVELOPMENT
WATER STREET PARKING GARAGE
 183 WATER STREET
 CITY OF BINGHAMTON
 BROOME COUNTY, NY

SHEET NO.
C110
 PROJECT NO.
 3505.14622
 DATE: 09/07/22
 BAD FILE NO. 3505.14622-SITE

GRADING PLAN

WARNING:
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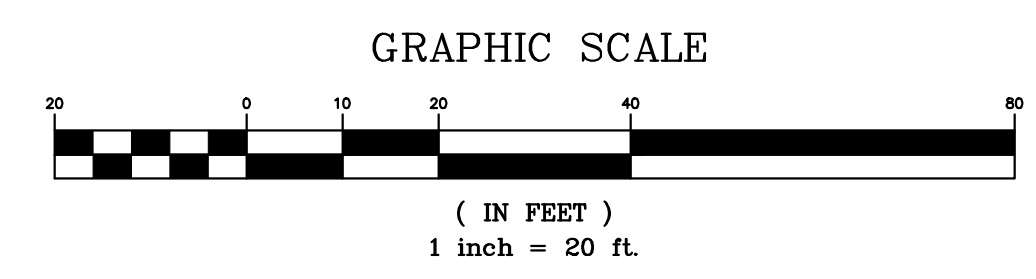
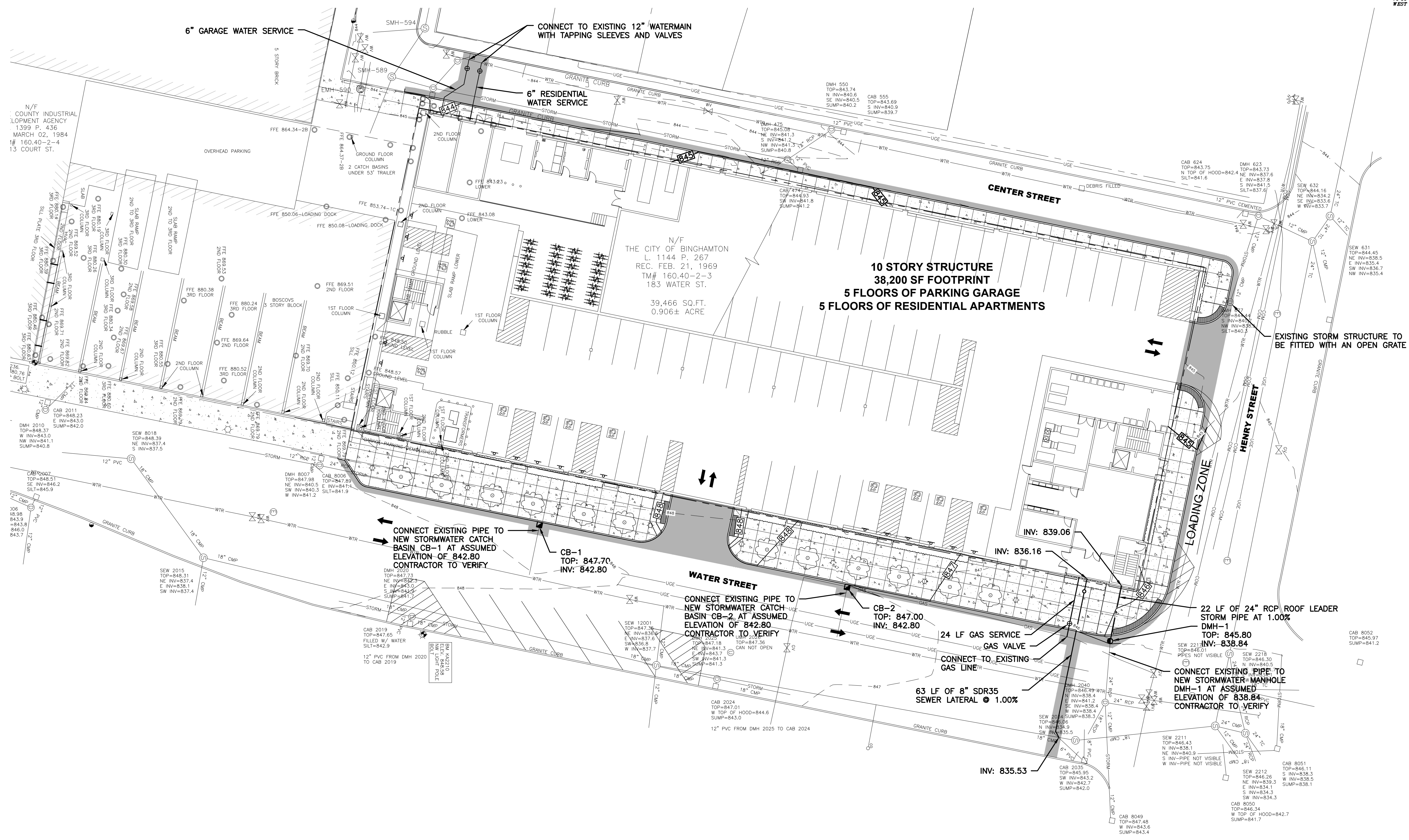
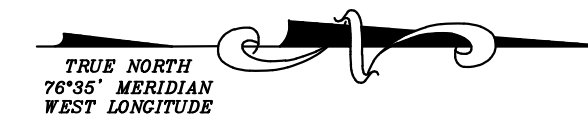
58 Exchange Street
 Binghamton, New York 13901
 Phone: 607.722.1100
 Fax: 607.722.2515
 Email: info@keystone.com
 www.keystone.com



N/F
 COUNTY INDUSTRIAL
 LOPMENT AGENCY
 1399 P. 436
 MARCH 02, 1984
 # 160.40-2-4
 13 COURT ST.

N/F
 THE CITY OF BINGHAMTON
 L. 1144 P. 267
 REC. FEB. 21, 1969
 TM# 160.40-2-3
 183 WATER ST.
 39,466 SQ.FT.
 0.906± ACRE

10 STORY STRUCTURE
38,200 SF FOOTPRINT
5 FLOORS OF PARKING GARAGE
5 FLOORS OF RESIDENTIAL APARTMENTS



NOT FOR CONSTRUCTION

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Binghamton, New York 13901
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Fax: 607.722.2515
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MIXED-USE PARKING GARAGE AND HOUSING DEVELOPMENT
WATER STREET PARKING GARAGE
183 WATER STREET
CITY OF BINGHAMTON
BROOME COUNTY, NY

UTILITY PLAN

KEYSTONE ASSOCIATES
ARCHITECTS, ENGINEERS
AND SURVEYORS, LLC

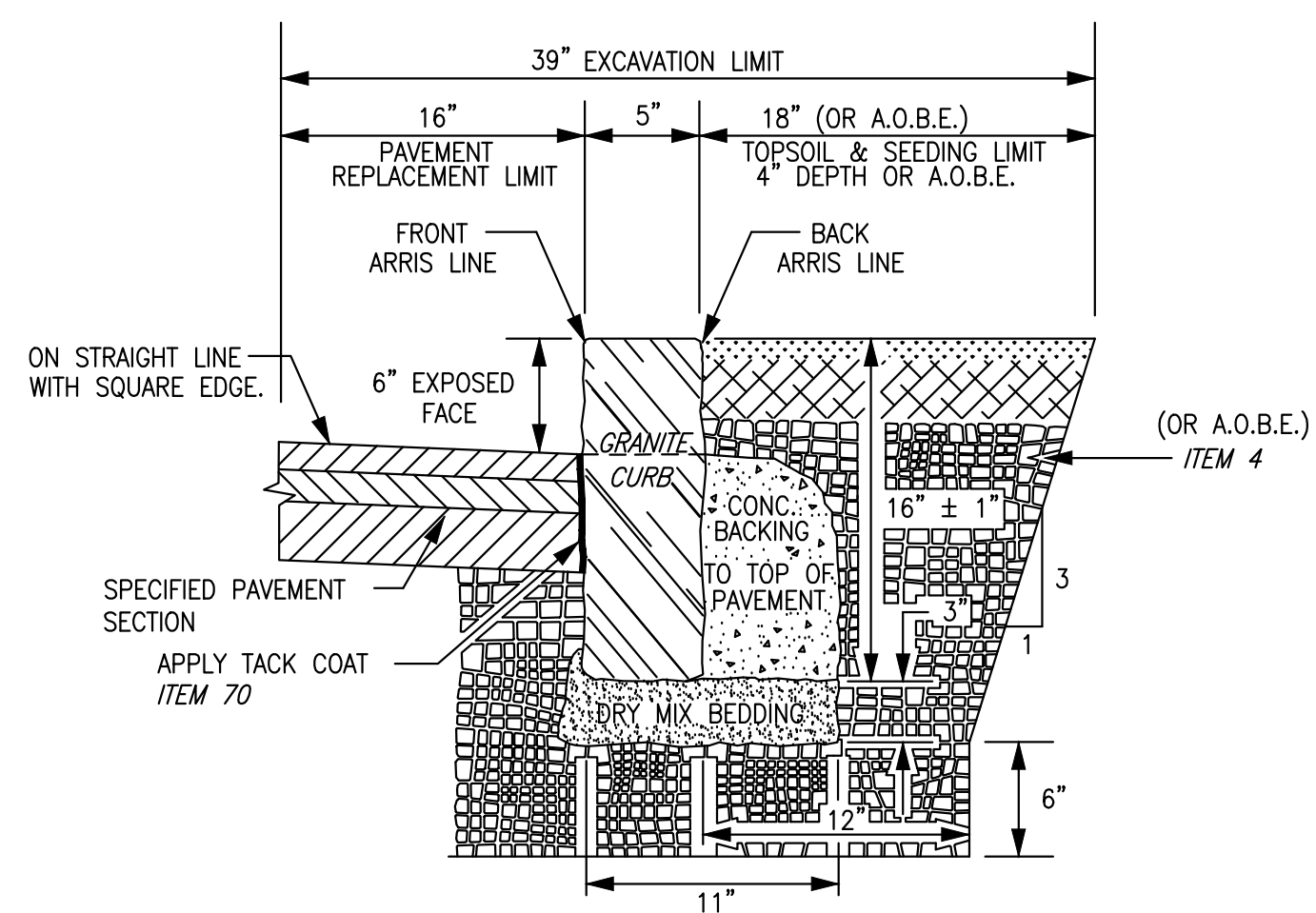
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C120
3505.14622

DATE: 09/07/22
SHEET NO. 3505.14622-SITE

DATE: 09/07/22

DATE: 09/07/22

DATE: 09/07/22



REVEALED GRANITE CURB DETAIL

SAWED OR HAMMERED TOP, QUARRY SPLIT FACE

ITEMS 94 & 96SEV

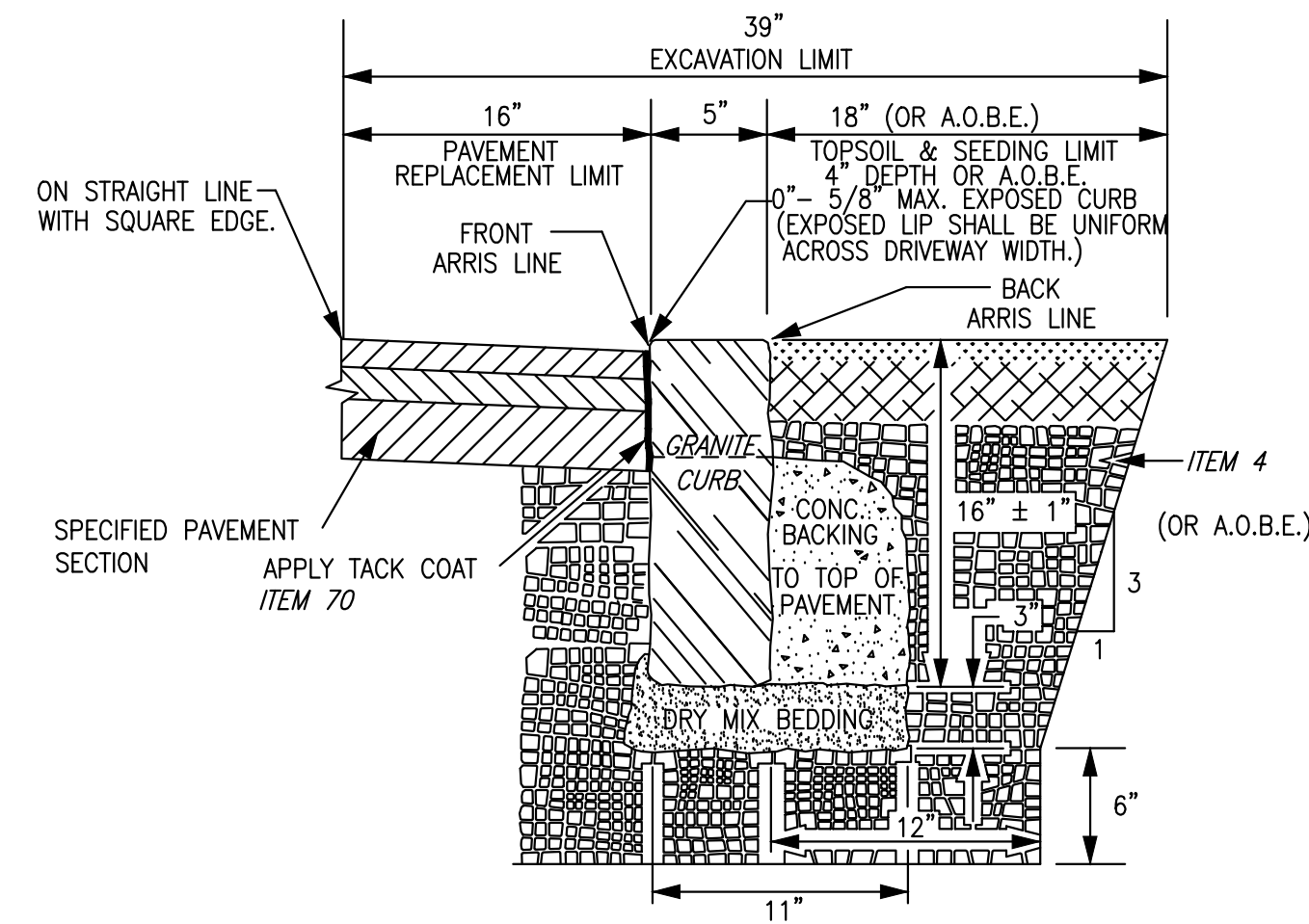
NOT TO SCALE

NOTE: WHEN GRANITE CURB IS USED ADJACENT TO FLEXIBLE TYPE PAVEMENT, CONCRETE BACKING AND DRY MIX BEDDING SHALL BE UTILIZED AS SHOWN. THE CONTRACTOR SHALL USE ANY N.Y.S.D.O.T. CLASS MIX OR A CONCRETE MIX AS SHOWN (1:3:6 MIX APPROXIMATE)* PAYMENT FOR THE CONCRETE BACKING AND BEDDING, INCLUDING CEMENT, WILL BE INCLUDED IN THE PRICE BID FOR GRANITE CURB.

*WEIGHT IN POUNDS OF AGGREGATE/BAG OF CEMENT

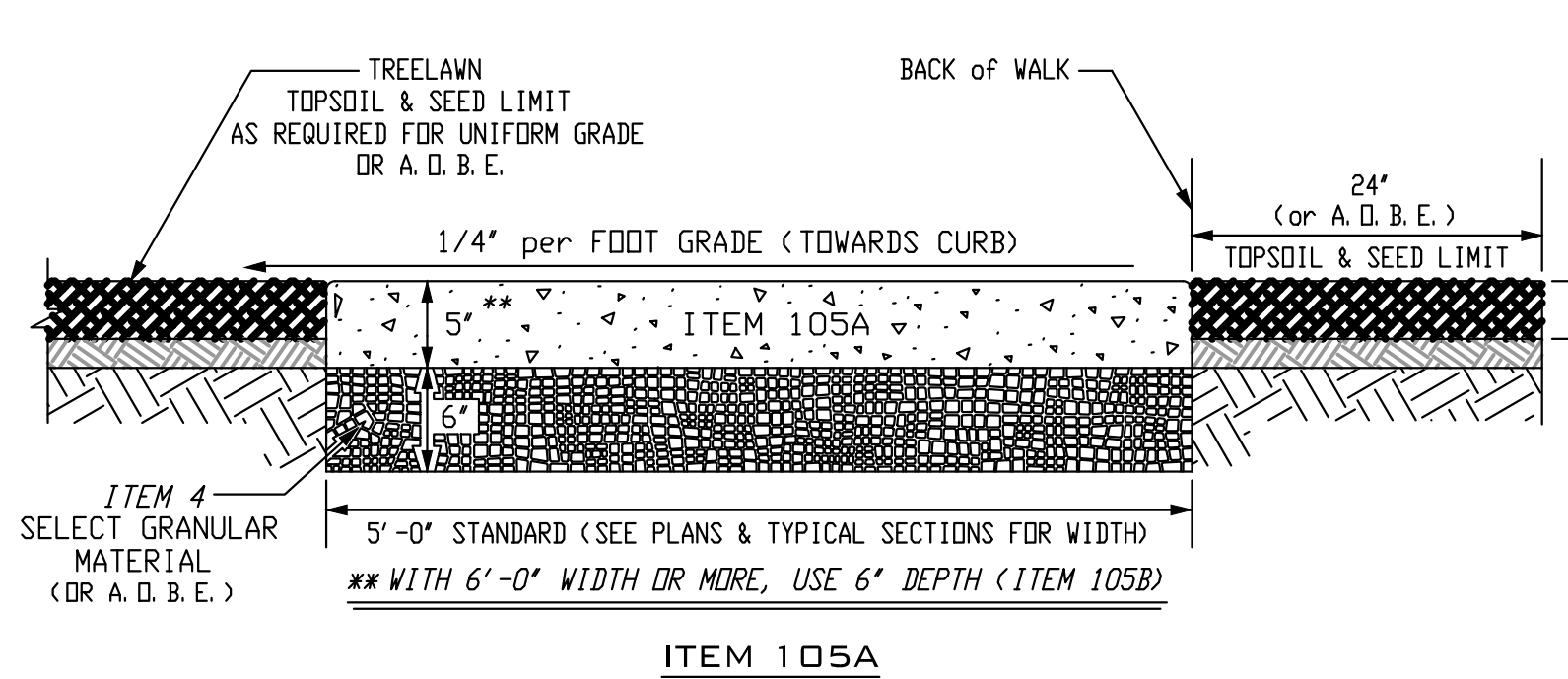
SPEC. GRAVITY	2.60	2.70	2.80	2.90
FINE AGGREGATE	326	338	351	363
COARSE AGGREGATE	535	556	577	597

1 GRANITE CURB DETAILS
C200 N.T.S.

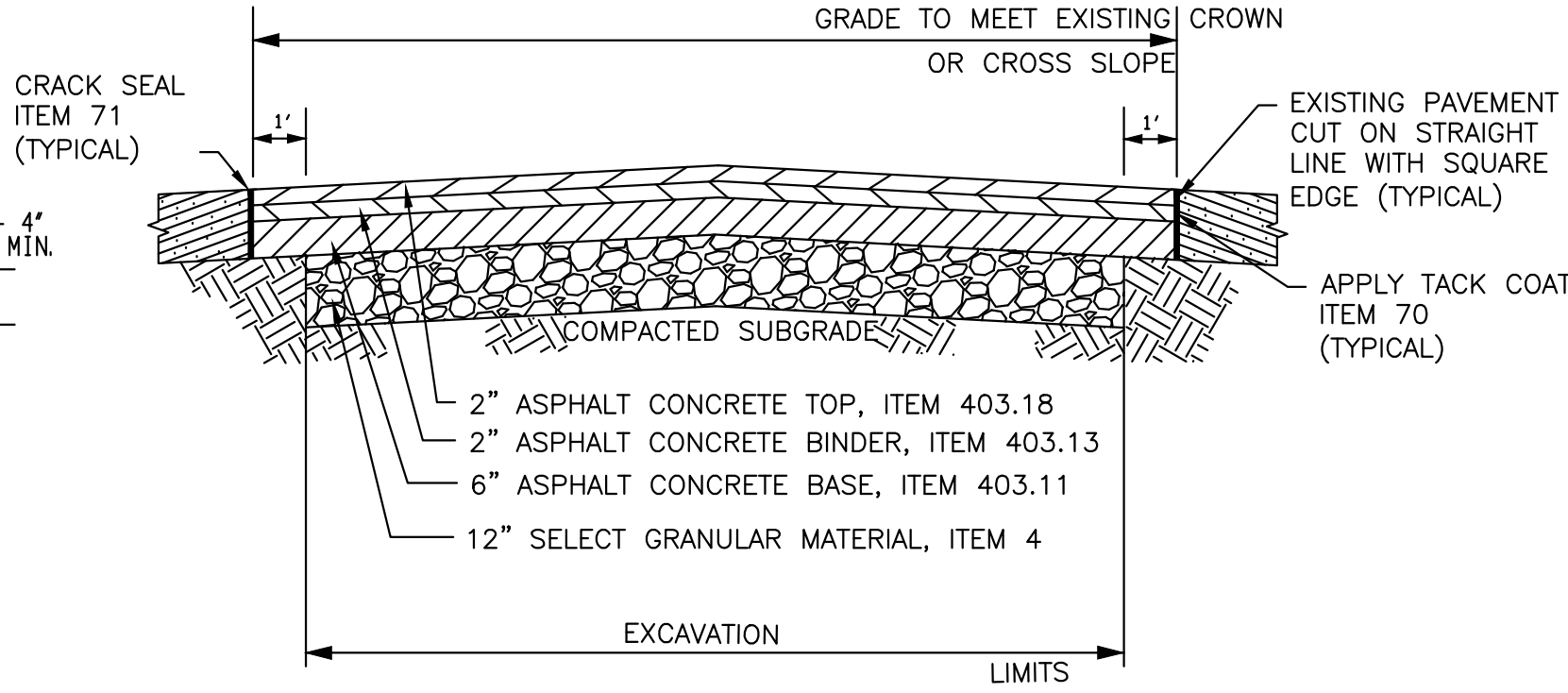


FLUSH GRANITE CURB DETAIL

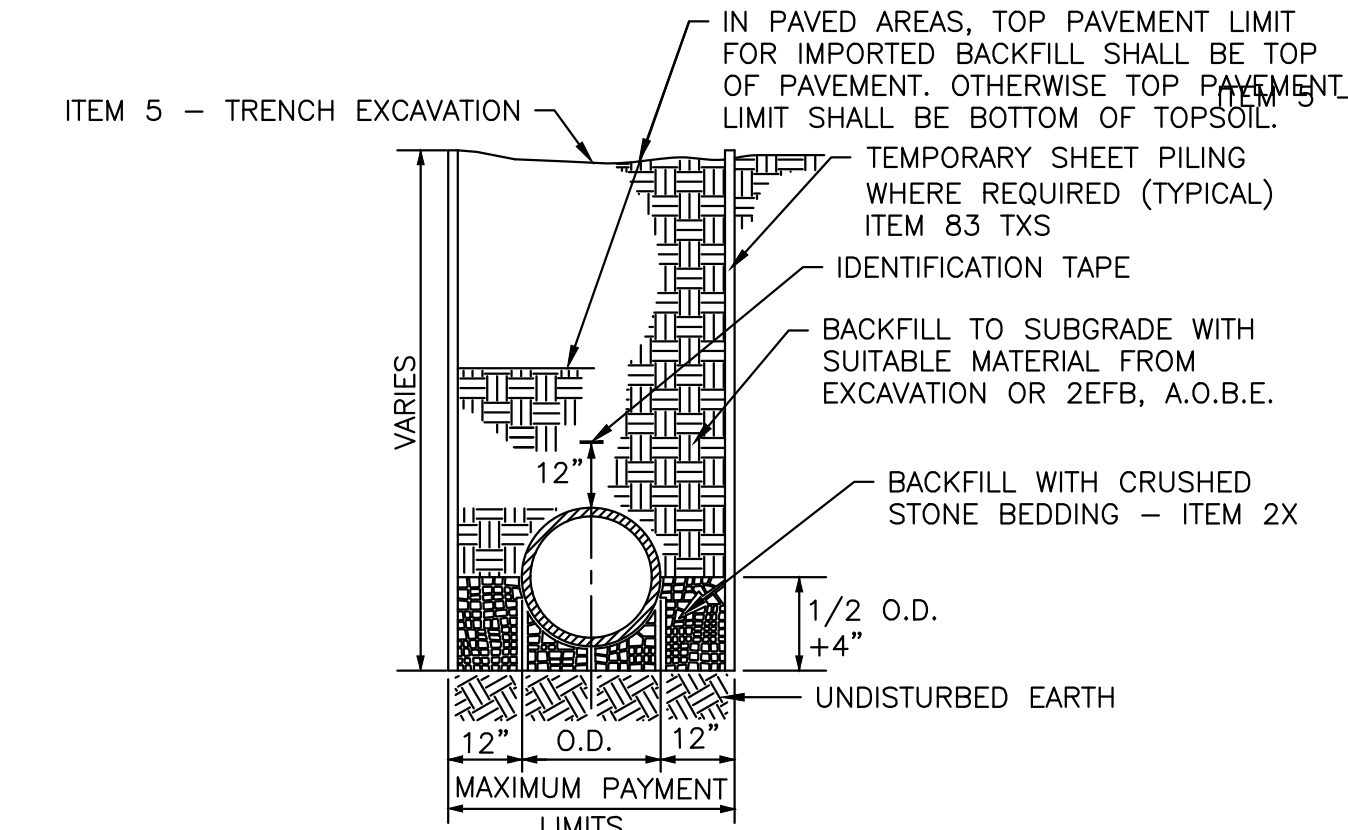
SAWED OR HAMMERED TOP, QUARRY SPLIT FACE



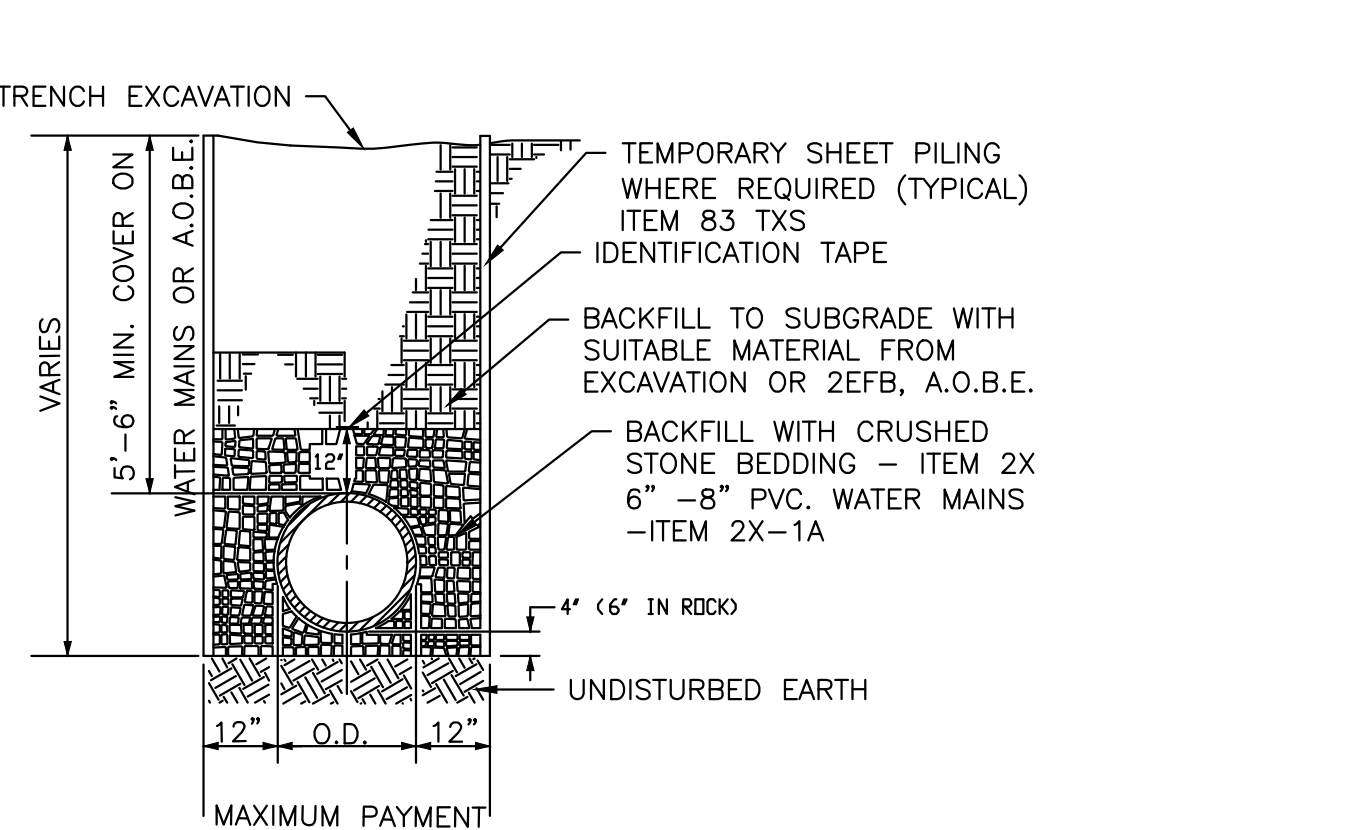
2 FIBERMESH CONCRETE SIDEWALK DETAIL
C200 N.T.S.



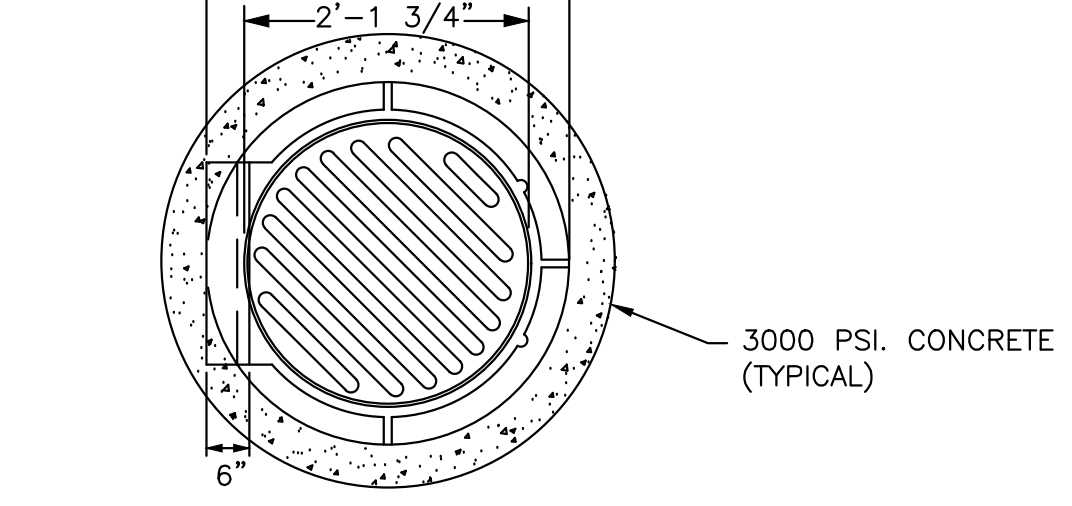
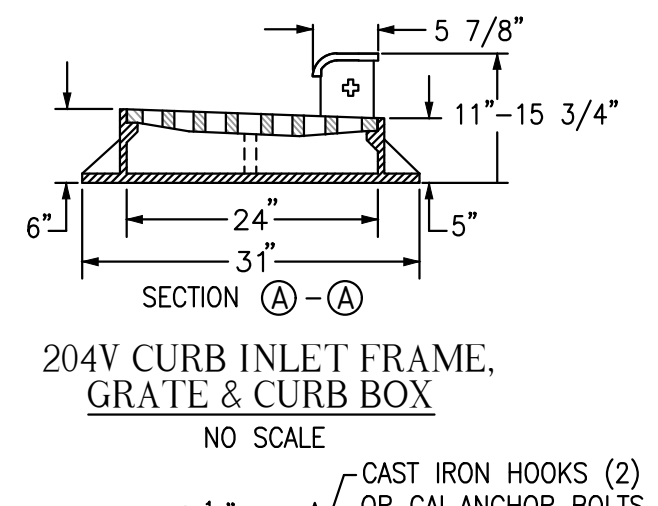
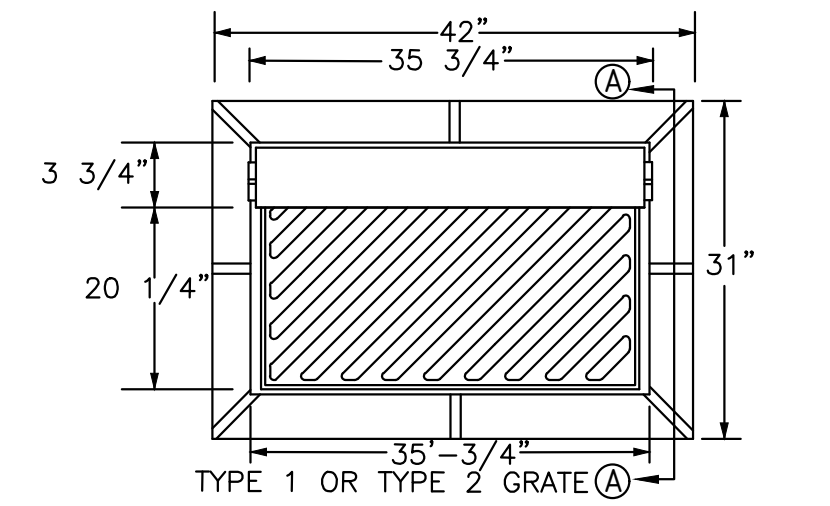
3 PAVEMENT RESTORATION FOR TRENCH EXCAVATIONS
C200 N.T.S.



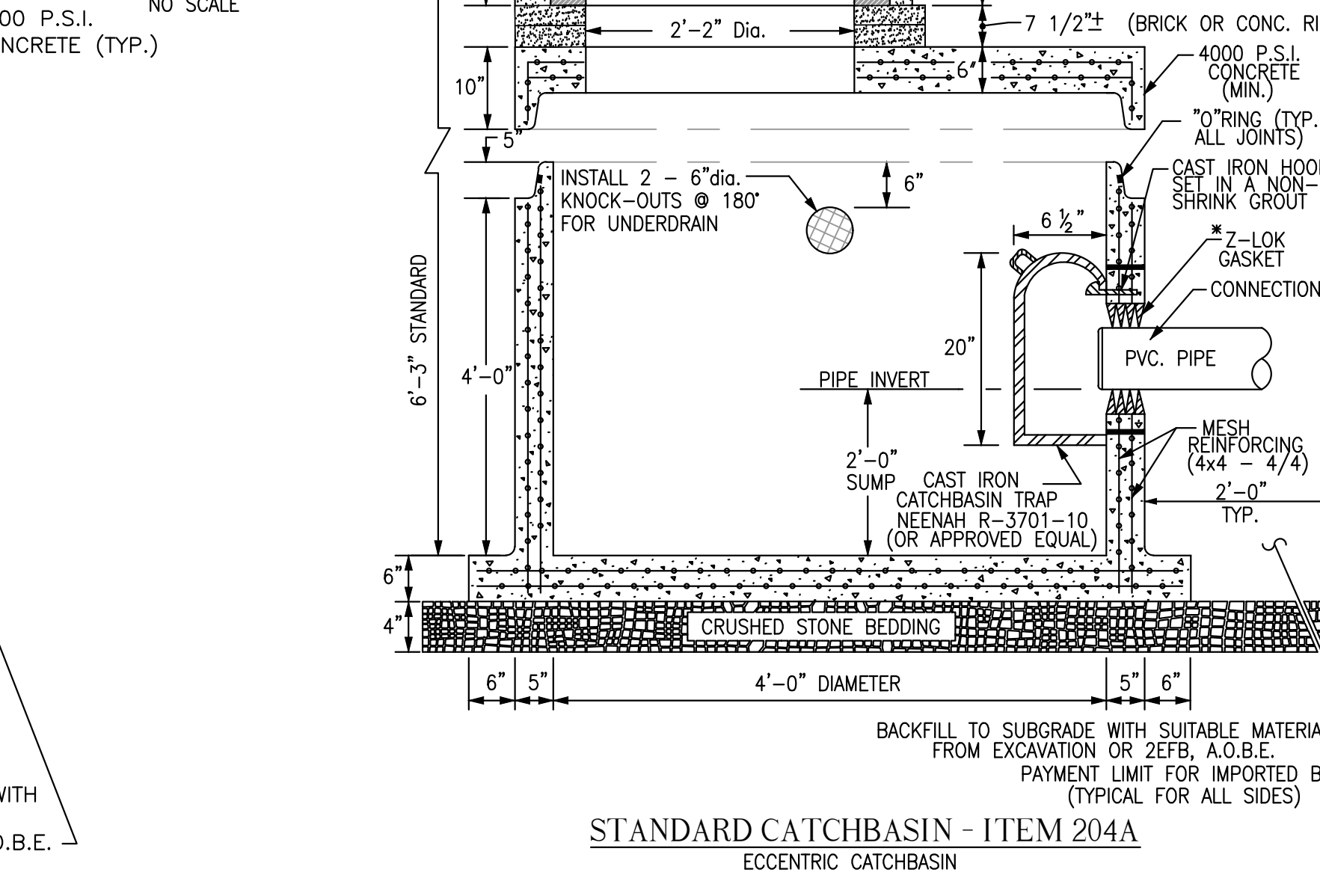
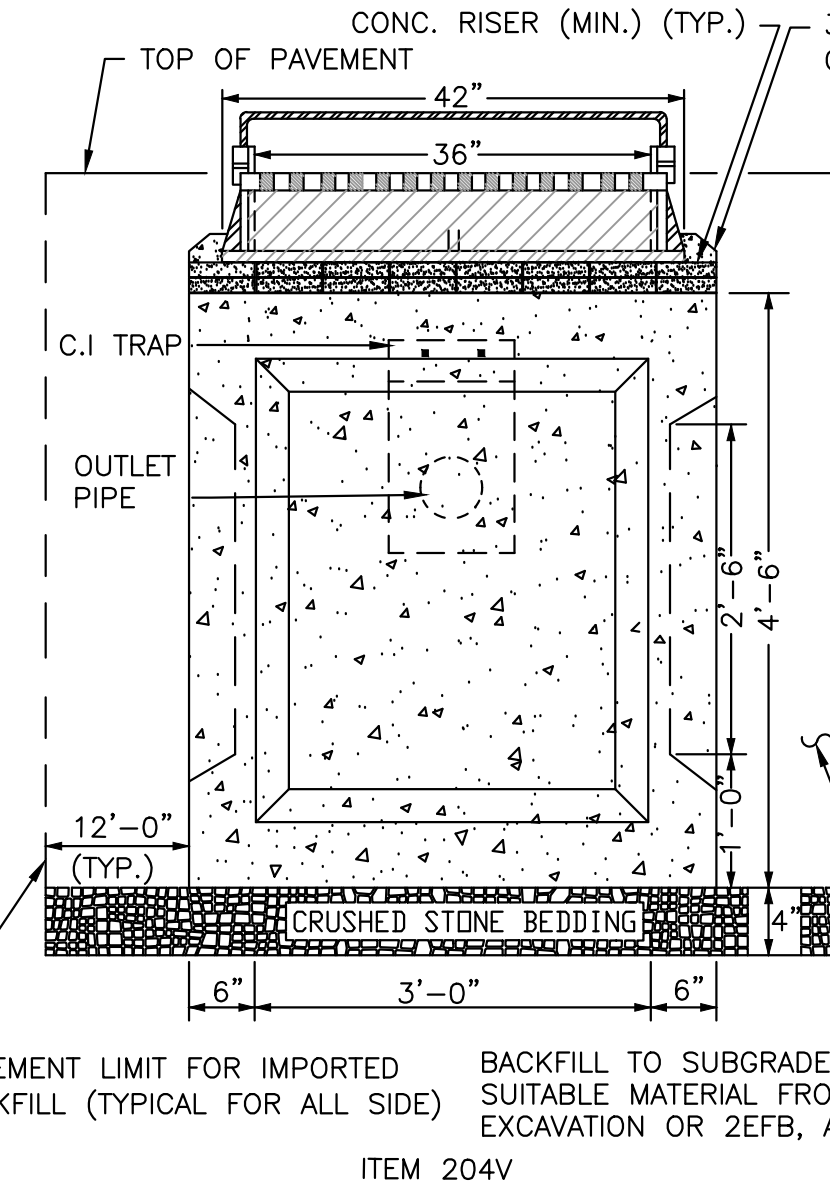
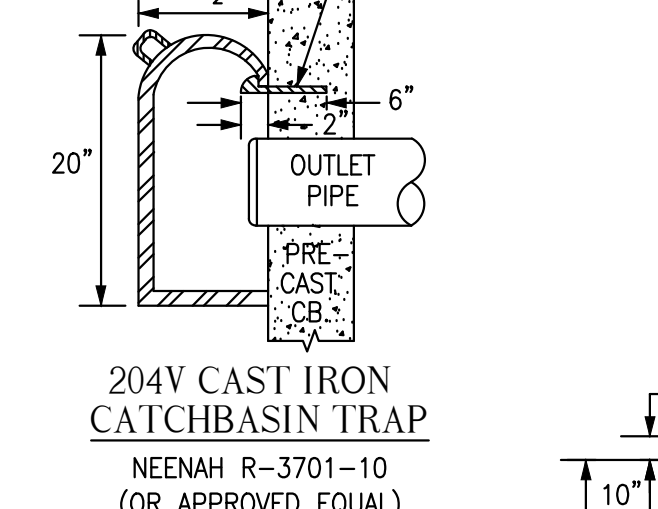
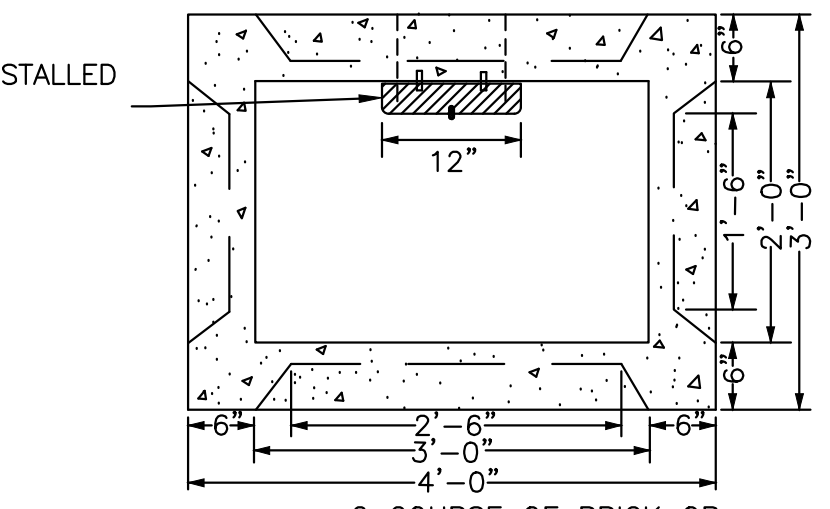
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C200 N.T.S.



DETAIL EXCAVATION AND BACKFILL FOR PIPES UNDER 24\"/>

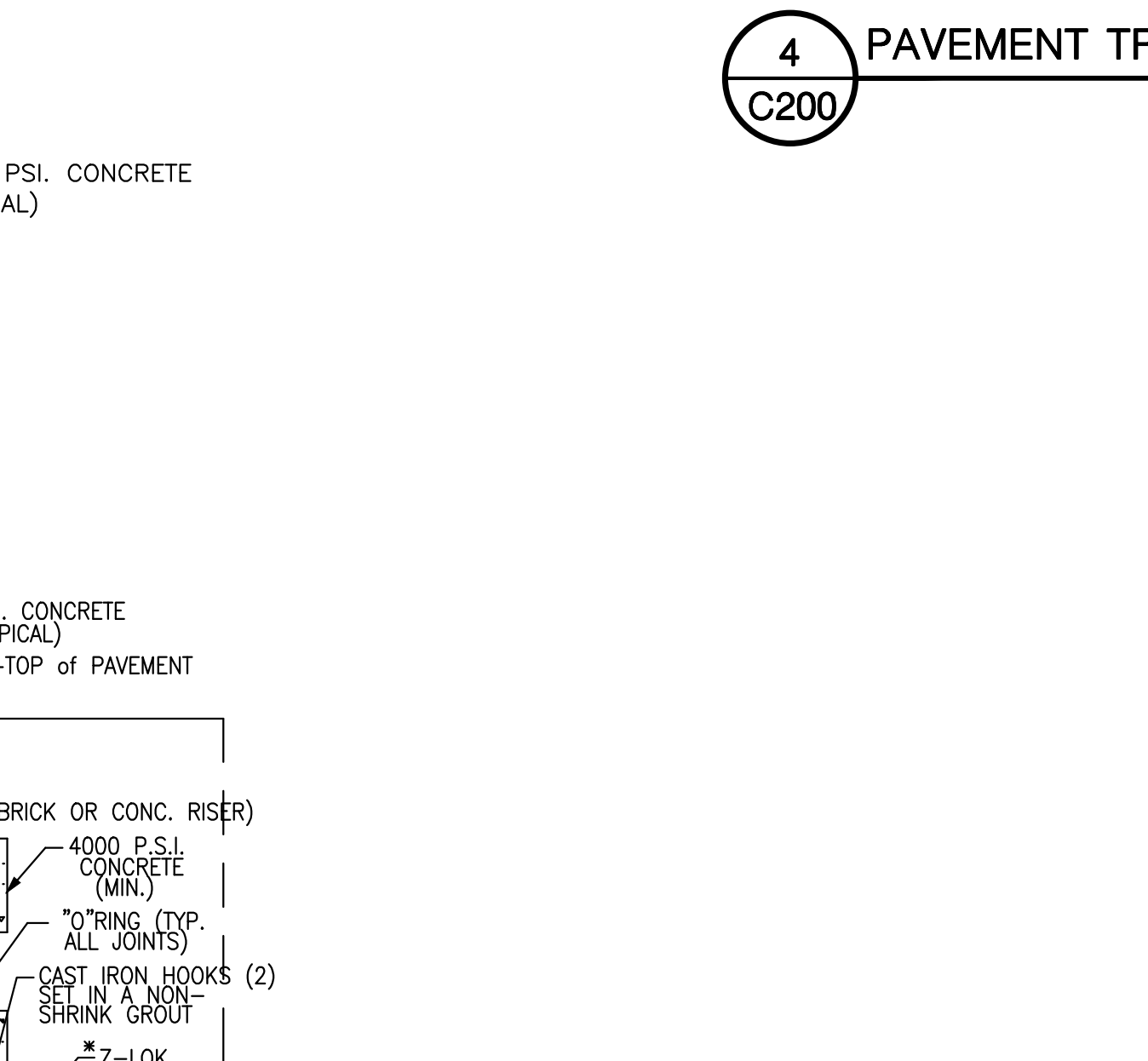


STANDARD 204A CATCHBASIN FRAME, GRATE, & CURB BOX
NEENAH CASTING R-3250-A (OR APPROVED EQUAL)
A.S.T.M. A 48-83, CLASS 35
NOT TO SCALE

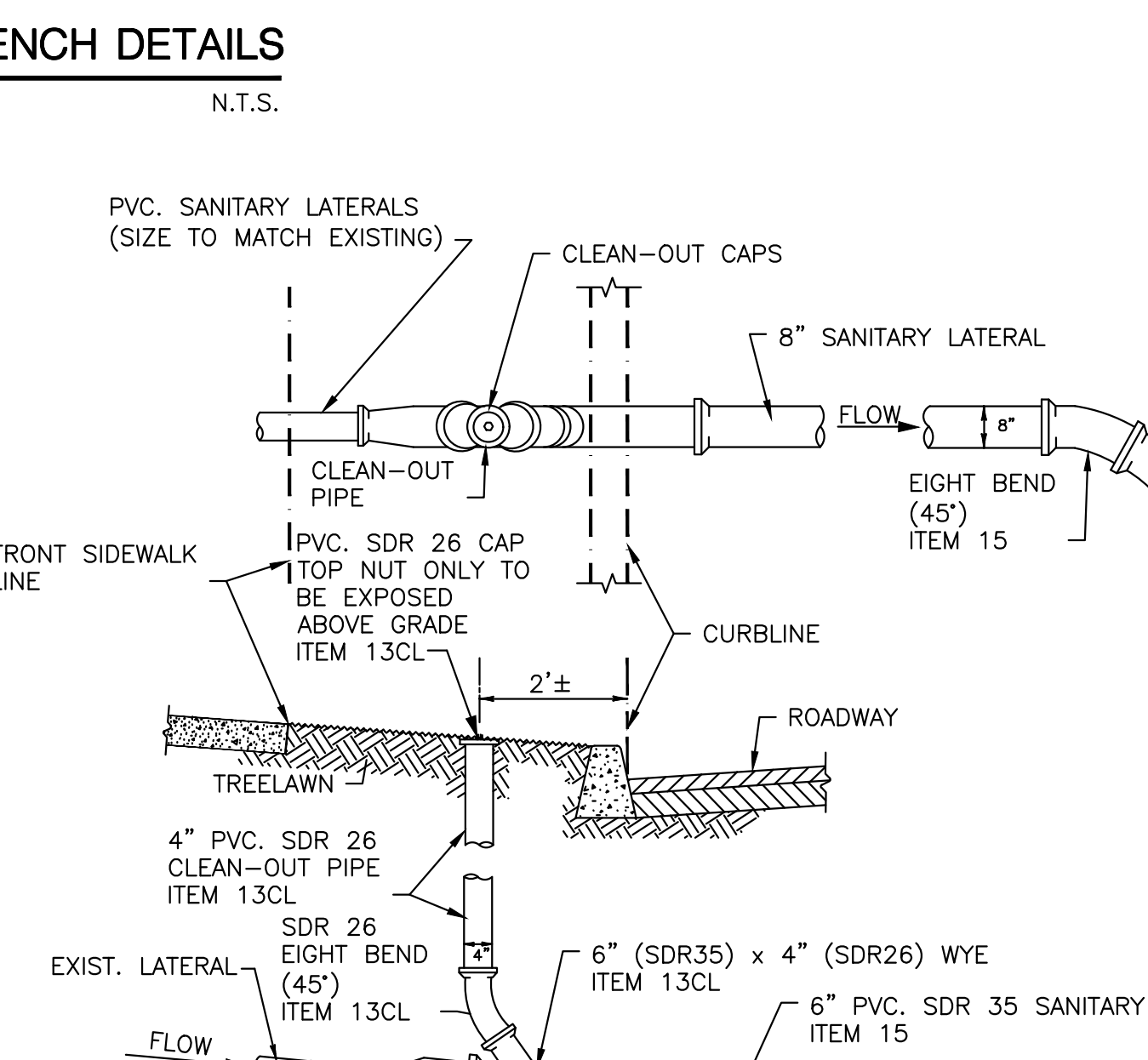


STANDARD CATCHBASIN - ITEM 204A
ECCENTRIC CATCHBASIN

5 STANDARD CATCH BASIN DETAILS
C200 N.T.S.



6 TYPICAL SANITARY SEWER LATERAL AND CLEANOUT DETAIL
C200 N.T.S.



DETAIL EXCAVATION AND BACKFILL FOR PIPES UNDER 24\"/>

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Email: info@keystone.com
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KEYSTONE ASSOCIATES
ARCHITECTS, ENGINEERS AND SURVEYORS, LLC

KEYSTONE ASSOCIATES ARCHITECTS, ENGINEERS AND SURVEYORS, LLC
2022

MIXED-USE PARKING GARAGE AND HOUSING DEVELOPMENT
WATER STREET PARKING GARAGE
183 WATER STREET
CITY OF BINGHAMTON
BROOME COUNTY, NY

SHEET NO. **C200**
PROJECT NO. 3505.14622
DATE: 09/07/22
CAD FILE NO. 3505.14622-SITE