

City of Binghamton
Water Street Development Corporation
Special Meeting
Wednesday April 12, 1:00 PM
Mayor's Conference Room, City Hall, 4th floor

PROPOSED AGENDA

I. Call to order

II. Old Business

None

III. New Business:

RESOLUTION 23-6 A RESOLUTION OF THE CITY OF BINGHAMTON WATER STREET DEVELOPMENT CORPORATION TO ACCEPT A GARAUNTEED MAXIMUM PRICE OF \$22,060,245 FOR THE DEVELOPMENT OF THE PARKING GARAGE AND \$3,050,300 FOR THE SIXTH FLOOR PODIUM BY UNITED - PIKE DEVELOPMENT JV, LLC

VI. Update on Water Street Parking Ramp Project

VII. Adjourn

BID / 03.15.2023

REVISED 03.31.2023

REVISED 04.05.23

City of Binghamton: Water Street Garage

Binghamton, New York



Pike

20 Loudonville Road / Albany, New York 12204 / 1.800.264.PIKE



Contents

DRAWINGS - REVISED

ASSUMPTIONS & CLARIFICATIONS - REVISED

ALTERNATE LIST & DESCRIPTIONS

Drawings

Pike

Water St Municipal Parking Garage Contract Document List
4/5/2023

<u>DOCUMENT NUMBER</u>	<u>DOCUMENT TITLE</u>	<u>ISSUE DATE</u>	<u>REV. 1</u>	<u>REV. 2</u>	<u>REV. 3</u>
General					
A-001	SYMBOLS, ABBREVIATIONS & GEN. NOTES	1/31/2023	2/23/2023		
Code Review					
LS-00	LIFE SAFETY	Not Issued	2/23/2023		
LS-01	LIFE SAFETY PLANS	Not Issued	2/23/2023		
LS-02	LIFE SAFETY PLANS	Not Issued	2/23/2023		
LS-03	LIFE SAFETY PLANS	Not Issued	2/23/2023		
Civil					
C-010	EXISTING SITE CONDITIONS	1/31/2023	2/23/2023		
C-020	DEMOLITION PLAN	1/31/2023	2/23/2023	3/7/2023	
C-100	LAYOUT PLAN	1/31/2023	2/23/2023	3/1/2023	
C-110	GRADING PLAN	1/31/2023	2/23/2023		
C-120	UTILITY PLAN	1/31/2023	2/23/2023	3/7/2023	
C-130	EROSION AND SEDIMENT CONTROL PLAN	Not Issued	2/23/2023		
C-200	CITY OF BINGHAMTON STANDARD DETAILS	1/31/2023	2/23/2023		
C-210	STANDARD DETAILS	Not Issued	2/23/2023		
C-220	SPECIFICATIONS	Not Issued	2/23/2023		
Structural					
S-001	NOTES, DESIGN CRITERIA & SHEET INDEX	1/31/2023	2/23/2023		
S-002	NOTES, ABBREVIATIONS & SYMBOLS	1/31/2023	2/23/2023		
S-010	SPECIAL INSPECTION SCHEDULE	1/31/2023	2/23/2023		
S-020	FLOOR LOAD MAPS	1/31/2023	2/23/2023		
S-100	EXISTING FOUNDATION PLAN	Not Issued	2/23/2023		
S-101	FIRST FLOOR FOUNDATION PLAN	1/31/2023	2/23/2023		
S-101a	FIRST FLOOR FOUNDATION PLAN - AREA A	Not Issued	2/23/2023		
S-101b	FIRST FLOOR FOUNDATION PLAN - AREA B	Not Issued	2/23/2023		
S-102	SECOND FLOOR FRAMING PLAN	1/31/2023	2/23/2023		
S-103	THIRD FLOOR FRAMING PLAN	1/31/2023	2/23/2023		
S-104	FOURTH FLOOR FRAMING PLAN	1/31/2023	2/23/2023		
S-105	FIFTH FLOOR FRAMING PLAN	1/31/2023	2/23/2023		
S-106	SIXTH FLOOR FRAMING PLAN	1/31/2023	2/23/2023		
S-106a	SIXTH FLOOR FRAMING PLAN - AREA A	1/31/2023	2/23/2023		
S-106b	SIXTH FLOOR FRAMING PLAN - AREA B	1/31/2023	2/23/2023		
S-107	SEVENTH LEVEL FRAMING PLAN	1/31/2023	2/23/2023		
S-200	PRECAST COLUMN SCHEDULE	1/31/2023	2/23/2023		
S-210	PRECAST SHEAR WALL ELEVATIONS	1/31/2023	2/23/2023		
S-300	TYPICAL FOUNDATION DETAILS TYPICAL PILECAP DETAILS	1/31/2023	2/23/2023		
S-301	TYPICAL FOUNDATION DETAILS PILECAP DETAILS	1/31/2023	2/23/2023		
S-302	TYPICAL FOUNDATION DETAILS PILECAP DETAILS	1/31/2023	2/23/2023		
S-303	TYPICAL FOUNDATION DETAILS PILECAP DETAILS	1/31/2023	2/23/2023		
S-304	PILECAP DETAILS	Not Issued	2/23/2023		
S-320	TYPICAL DETAILS	1/31/2023	2/23/2023		
S-321	TYPICAL DETAILS	1/31/2023	2/23/2023		
S-322	TYPICAL DETAILS	1/31/2023	2/23/2023		
S-323	TYPICAL DETAILS	1/31/2023	2/23/2023		
Architectural					
A-101	FIRST FLOOR PLAN	1/31/2023	2/23/2023	3/1/2023	
A-102	SECOND FLOOR PLAN	1/31/2023	2/23/2023		
A-103	THIRD FLOOR PLAN	1/31/2023	2/23/2023		
A-104	FOURTH FLOOR PLAN	1/31/2023	2/23/2023		
A-105	FIFTH FLOOR PLAN	1/31/2023	2/23/2023		
A-106	SIXTH FLOOR PLAN	1/31/2023	DELETED		
A-107	SEVENTH FLOOR PLAN	1/31/2023	DELETED		
A-108	EIGHTH FLOOR PLAN	1/31/2023	DELETED		



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General					
A-109	NINETH FLOOR PLAN	1/31/2023	DELETED		
A-110	TENTH FLOOR PLAN	1/31/2023	DELETED		
A-111	ROOF PLAN	1/31/2023	DELETED		
A-200	EXTERIOR ELEVATIONS	1/31/2023	2/23/2023	3/1/2023	
A-201	EXTERIOR ELEVATIONS	1/31/2023	2/23/2023	3/1/2023	
A-250	BUILDING SECTIONS	1/31/2023	DELETED		
A-251	BUILDING SECTIONS	1/31/2023	DELETED		
A-300	ENLARGED FLOOR PLANS	1/31/2023	2/23/2023	3/1/2023	
A-401	FIRST FLOOR REFLECTED CEILING PLAN FIRST & SECOND FLOOR REFLECT. CEILING PLAN	1/31/2023	2/23/2023		
A-402	SECOND FLOOR REFLECTED CEILING PLAN THIRD & FOURTH FLOOR REFLECT. CEILING PLAN	1/31/2023	2/23/2023		
A-403	THIRD FLOOR REFLECTED CEILING PLAN	1/31/2023	DELETED		
A-404	FOURTH FLOOR REFLECTED CEILING PLAN	1/31/2023	DELETED		
A-405	FIFTH FLOOR REFLECTED CEILING PLAN	1/31/2023	DELETED		
A-410	ENLARGED REFLECTED CEILING PLAN	1/31/2023	DELETED		
A-500	VERT. CIRC. NORTH STAIR/ELEV.	1/31/2023	2/23/2023		
A-501	VERTICAL CIRCULATION SOUTH STAIR/ELEV.	1/31/2023	2/23/2023		
A-502	VERTICAL CIRCULATION SOUTH ELEV. & MAINT. STAIR	1/31/2023	2/23/2023		
A-503	MISC. STAIRS	Not Issued	2/23/2023		
A-510	VERTICAL CIRCULATION SECTIONS	1/31/2023	2/23/2023		
A-511	VERTICAL CIRCULATION SECTIONS	1/31/2023	2/23/2023		
A-600	WALL SECTIONS	1/31/2023	2/23/2023		
A-601	WALL SECTIONS	1/31/2023	2/23/2023		
A-602	WALL SECTIONS	Not Issued	2/23/2023		
A-700	ENLARGED PLANS & DETAILS	Not Issued	2/23/2023		
A-801	DOOR SCHEDULE	Not Issued	2/23/2023		
A-803	DOOR TYPES & STOREFRONT ELEVATIONS AND DETAILS	1/31/2023	DELETED		
Parking					
PK-101	FIRST FLOOR PARKING PLAN	Not Issued	2/23/2023		
PK-102	SECOND FLOOR PARKING PLAN	Not Issued	2/23/2023		
PK-103	THRID FLOOR PARKING PLAN	Not Issued	2/23/2023		
PK-104	FOURTH FLOOR PARKING PLAN	Not Issued	2/23/2023		
PK-105	FIFTH FLOOR PARKING PLAN	Not Issued	2/23/2023		
PK-200	DETAILS	Not Issued	2/23/2023		
Architectural Parking					
AP-102	ARCHITECTURAL PARKING PLANS	Not Issued	2/23/2023		
AP-102	ARCHITECTURAL PARKING PLANS	Not Issued	2/23/2023		
AP-103	ARCHITECTURAL PARKING PLANS	Not Issued	2/23/2023		
AP-201	SIGNAGE DETAILS - ARCHITECTURAL PARKING	Not Issued	2/23/2023		
AP-202	SIGNAGE DETAILS - ARCHITECTURAL PARKING	Not Issued	2/23/2023		
AP-203	SIGNAGE DETAILS - ARCHITECTURAL PARKING	Not Issued	2/23/2023		
AP-251	SIGN MOUNTING DETAILS - ARCHITECTURAL PARKING	Not Issued	2/23/2023		
Mechanical					
M-001	LEGENDS & ABBREVIATIONS	1/31/2023	2/23/2023		
M004	FIRST FLOOR DEMOLITION PLAN - PLUMBING & PIPING	1/31/2023	DELETED		
M-111	PARKING GARAGE FIRST LEVEL PLAN	Not Issued	2/23/2023		
Plumbing					
P-001	LEGENDS & GENERAL NOTES	1/31/2023	2/23/2023		
P-110	FOUNDATION PLAN	1/31/2023	2/23/2023	3/8/2023	
P-111	PARKING GARAGE FIRST LEVEL PLAN	1/31/2023	2/23/2023	3/8/2023	
P-112	PARKING GARAGE SECOND LEVEL PLAN	1/31/2023	2/23/2023		
P-113	PARKING GARAGE THIRD LEVEL PLAN	1/31/2023	2/23/2023		
P-114	PARKING GARAGE FOURTH LEVEL PLAN	1/31/2023	2/23/2023		
P-115	PARKING GARAGE FIFTH LEVEL PLAN	1/31/2023	2/23/2023		
P-401	SCHEDULES	1/31/2023	2/23/2023		
P-501	DETAILS	1/31/2023	2/23/2023	3/8/2023	

Fire Protection



Pike Construction Services

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General					
FP-001	LEGENDS & GENERAL NOTES	1/31/2023	2/23/2023	3/8/2023	
FP-111	PARKING GARAGE FIRST LEVEL PLAN	1/31/2023	2/23/2023	3/8/2023	
FP-112	PARKING GARAGE SECOND LEVEL PLAN	1/31/2023	2/23/2023	3/8/2023	
FP-113	PARKING GARAGE THIRD LEVEL PLAN	1/31/2023	2/23/2023		
FP-114	PARKING GARAGE FOURTH LEVEL PLAN	1/31/2023	2/23/2023	3/8/2023	
FP-115	PARKING GARAGE FIFTH LEVEL PLAN	1/31/2023	2/23/2023	3/8/2023	
FP-301	RISER DIAGRAM	1/31/2023	2/23/2023	3/8/2023	
FP-501	DETAILS	1/31/2023	2/23/2023	3/8/2023	
Electrical					
E-001	LEGENDS & ABBREVIATIONS	1/31/2023	2/23/2023		
E-100	PARKING GARAGE FIRST LEVEL PLAN CONDUIT ROUTING	1/31/2023	2/23/2023		
E-111	PARKING GARAGE FIRST LEVEL PLAN	1/31/2023	2/23/2023		
E-112	PARKING GARAGE SECOND LEVEL PLAN	1/31/2023	2/23/2023		
E-113	PARKING GARAGE THIRD LEVEL PLAN	1/31/2023	2/23/2023		
E-114	PARKING GARAGE FOURTH LEVEL PLAN	1/31/2023	2/23/2023		
E-115	PARKING GARAGE FIFTH LEVEL PLAN	1/31/2023	2/23/2023		
E-116	PARKING GARAGE SIXTH LEVEL PLAN	Not Issued	DELETED		
E-301	ONE-LINE DIAGRAM	1/31/2023	2/23/2023		
E-401	SCHEDULES	1/31/2023	2/23/2023		
E-402	PANELBOARD SCHEDULES	1/31/2023	2/23/2023		
E-403	PANELBOARD SCHEDULES	Not Issued	2/23/2023		
E-501	DETAILS	1/31/2023	2/23/2023		
E-502	DETAILS	1/31/2023	2/23/2023		
E-503	DETAILS	Not Issued	2/23/2023		
E-504	DETAILS	Not Issued	2/23/2023		

SUPPLEMENTAL DRAWINGS

PRELIMINARY FOUNDATION CONCEPT (S-100 & S-101)	01/27/23		
FOUNDATION PLAN FROM WATER STREET 1968 - REFERENCE ONLY	03/03/23		
GRID LINE G1 - PROGRESS PRINT NOTE FOR CONSTRUCTION			03/31/23

SPECIFICATIONS

DIVISION 03 - CONCRETE			
03 30 00	CAST-IN-PLACE CONCRETE	Not Issued	02/23/23
03 41 00	PRECAST STRUCTURAL CONCRETE	Not Issued	02/23/23
DIVISION 04 - MASONRY			
04 22 00	CONCRETE UNIT MASONRY	Not Issued	02/23/23
DIVISION 05 - METALS			
05 12 00	STRUCTURAL STEEL FRAMING	Not Issued	02/23/23
05 31 00	STEEL DECKING	Not Issued	02/23/23
05 40 00	COLD-FORMED METAL FRAMING	Not Issued	02/23/23
05 52 13	PIPE AND TUBE RAILINGS	Not Issued	02/23/23
DIVISION 06 - WOOD, PLASTICS, and COMPOSITES			
06 10 00	ROUGH CARPENTRY	Not Issued	02/23/23
06 16 00	SHEATHING	Not Issued	02/23/23
DIVISION 07 - THERMAL and MOISTURE PROTECTION			
07 14 16	COLD FLUID-APPLIED WATERPROOFING	Not Issued	02/23/23
07 18 00	TRAFFIC COATINGS	Not Issued	02/23/23
07 27 26	FLUID-APPLIED MEMBRANE AIR BARRIERS	Not Issued	02/23/23
07 42 43.13	WOOD VENEER LAMINATE WALL SIDING	Not Issued	02/23/23
07 53 23	ETHYLENE-PROPYLENE-DIENE-MONOMER (EPDM) ROOFING	Not Issued	02/23/23



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General					
07 62 00	SHEET METAL FLASHING AND TRIM	Not Issued	02/23/23		
07 71 00	ROOF SPECIALTIES	Not Issued	02/23/23		
07 84 43	JOINT FIRESTOPPING	Not Issued	02/23/23		
07 92 00	JOINT SEALANTS	Not Issued	Not Issued	2/23/2023	
DIVISION 08 - OPENINGS					
08 11 13	HOLLOW METAL DOORS AND FRAMES	Not Issued	02/23/23		
08 33 23	OVERHEAD COILING DOORS	Not Issued	02/23/23		
08 33 44	OVERHEAD COILING FIRE CURTAINS	Not Issued	02/23/23		
08 41 13	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS	Not Issued	02/23/23		
08 71 11	DOOR HARDWARE (DESCRIPTIVE SPECIFICATION)	Not Issued	02/23/23		
08 80 00	GLAZING	Not Issued	02/23/23		
08 88 13	FIRE-RATED GLAZING	Not Issued	02/23/23		
08 91 19	FIXED LOUVERS	Not Issued	02/23/23		
DIVISION 09 - FINISHES					
09 21 16.23	GYPSUM BOARD SHAFT WALL ASSEMBLIES	Not Issued	02/23/23		
09 96 00	HIGH-PERFORMANCE COATINGS	Not Issued	02/23/23		
DIVISION 10 - SPECIALTIES					
10 14 19	DIMENSIONAL LETTER SIGNAGE	Not Issued	02/23/23		
10 14 23	SIGNAGE	Not Issued	02/23/23		
DIVISION 14 - CONVEYING EQUIPMENT					
14 21 00	ELECTRIC TRACTION ELEVATORS	Not Issued	02/23/23		
DIVISION 22 - PLUMBING					
22 01 00	BASIC PLUMBING AND FIRE PROTECTION REQUIREMENTS	Not Issued	02/23/23		
22 01 50	EXCAVATION AND BACKFILL	Not Issued	02/23/23		
22 01 90	ELECTRIC WIRING	Not Issued	02/23/23		
22 06 00	PIPING SYSTEMS AND ACCESSORIES / INTERIOR BUILDING PIPING	Not Issued	02/23/23		
22 10 00	VALVES	Not Issued	02/23/23		
22 16 00	PUMPS	Not Issued	02/23/23		
22 19 00	PLUMBING IDENTIFICATION	Not Issued	02/23/23		
22 25 00	INSULATION	Not Issued	02/23/23		
22 33 00	DRY FIRE SPRINKLER SYSTEMS	Not Issued	02/23/23		
22 37 50	FIRE STANDPIPE SYSTEMS	Not Issued	02/23/23		
22 41 00	WATER SUPPLY	Not Issued	02/23/23		
22 41 10	WASTE WATER SYSTEMS	Not Issued	02/23/23		
22 45 00	EQUIPMENT	Not Issued	02/23/23		
DIVISION 23 - HEATING, VENTILATING, and AIR CONDITIONING (HVAC)					
23 01 00	BASIC MECHANICAL REQUIREMENTS	Not Issued	02/23/23		
23 01 80	MOTORS	Not Issued	02/23/23		
23 06 00	PIPING SYSTEMS AND ACCESSORIES	Not Issued	02/23/23		
23 25 00	INSULATION	Not Issued	02/23/23		
23 78 10	WALL/CEILING MOUNTED ROOM AIR CONDITIONING UNIT (AIR COOLED	Not Issued	02/23/23		
23 83 20	UNIT HEATERS AND CABINET UNIT HEATERS (HYDRONIC AND ELECTRIC)	Not Issued	02/23/23		
23 89 00	SHEET METAL AND DUCTWORK ACCESSORIES CONSTRUCTION	Not Issued	02/23/23		
23 94 50	LOUVERS AND PENTHOUSES	Not Issued	02/23/23		
23 99 00	ADJUSTING AND BALANCING	Not Issued	02/23/23		
DIVISION 26 - ELECTRICAL					
26 01 00	BASIC ELECTRICAL REQUIREMENTS	Not Issued	02/23/23		
26 01 10	GENERAL PROVISIONS	Not Issued	02/23/23		
26 01 50	WORK INCLUDED	Not Issued	02/23/23		
26 10 00	BASIC MATERIALS AND METHODS	Not Issued	02/23/23		



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General					
26 11 00	RACEWAYS	Not Issued	02/23/23		
26 12 00	CONDUCTORS	Not Issued	02/23/23		
26 12 40	MEDIUM VOLTAGE CABLE	Not Issued	02/23/23		
26 14 00	WIRING DEVICES	Not Issued	02/23/23		
26 32 10	DRY TYPE TRANSFORMERS	Not Issued	02/23/23		
26 42 00	SERVICE ENTRANCE	Not Issued	02/23/23		
26 45 00	GROUNDING	Not Issued	02/23/23		
26 47 00	LOW VOLTAGE POWER DISTRIBUTION EQUIPMENT	Not Issued	02/23/23		
26 48 50	MOTOR STARTERS AND CONTROL DEVICES	Not Issued	02/23/23		
26 50 00	LIGHTING	Not Issued	02/23/23		
26 62 00	POWER GENERATION	Not Issued	02/23/23		
26 72 20	POINT ADDRESSABLE FIRE ALARM SYSTEM	Not Issued	02/23/23		
DIVISION 31 - EARTHWORK					
31 62 16	STEEL PILES	Not Issued	02/23/23		
DIVISION 32 - EXTERIOR IMPROVEMENTS					
32 31 13	CHAIN LINK FENCES AND GATES	Not Issued	02/23/23		
32 33 00	SITE FURNISHINGS	Not Issued	02/23/23		

SUPPLEMENT SPECIFICATIONS

MEMO - 90% PROGRESS DRAWINGS GAPS LIST	01/27/23
BINGHAMTON WATER STREET GEOTECHNICAL REPORT	08/24/22

PIKE DOCUMENTS

1	INVITATION TO BID	02/06/23	02/23/23		
2	INSTRUCTION TO BIDDERS	02/06/23			
3	GENERAL REQUIREMENTS	02/06/23			
4	ALTERNATE LIST AND DESCRIPTIONS				
5	CONTRACT DOCUMENTS LIST	02/06/23	02/23/23	03/03/23	04/04/23
6	PREVAILING WAGE SCHEDULE PRC# 2023000912	01/24/23			
7	INSURANCE REQUIREMENTS	-			
8	SAMPLE COI CERTIFICATE	-			
9	TEXTURA INFORMATION	-			
10	SAMPLE MASTER SUBCONTRACT	-			
11	SAMPLE EXHIBIT AA WORK ORDER SUBCONTRACT	-			
12	SAMPLE BOND FORMS	-			
14	WATER ST. MILESTONE SCHEDULE				



Assumptions & Clarifications

Pike

Assumptions & Clarifications

Schedule

- Construction milestone schedule is attached – *has not been updated from original proposal*
- *A letter of Intent for this lump sum proposal is good until April 07, 2023.*

General

- *Related to the stairs and elevators, the structure will consist of 2 elevator shafts and 2 stair shafts. Stairs will be provided in each stair shaft to service the garage levels. Only 1 elevator, servicing the garage levels will be provided. The installation of the 1 remaining elevator is future work and not included in the cost of work. This elevator has been sized for 10 floors.*
- Proposal is based of CJS Architects Construction Documents dated 2-23-23. Please see the attached drawing list. *Changes in design and/or scope of work are subject to repricing*
- No Boscov work is included in this proposal
- Prevailing wage rates are included
- Builders Risk Insurance is included
- Performance and payment bond is included
- *Final foundation design is pending. A progress drawing was provided by McLaren on 4-3-23 and is attached. We feel comfortable that we have covered the cost associated with the current foundation design concept.*

Div 02 Existing Conditions

- *None*

Div 03 Concrete

- Concrete slab on grade is per architectural floor plan

Div 03 Precast

- *Standard gray color for precast concrete with a picture framed recessed exposed aggregate finish on the spandrel panels. Additional options can be reviewed with the team for the same value of work*
- Utilizing precast washes
- Drawings show snow piling location. We do not recommend snow piling in these areas that are shown
- We have assumed the use of the existing Binghamton Plaza Shopping Mall parking lot area for staging precast pieces. We have included a lease allowance of \$30,000

Div 04 Masonry

- Ground face CMU figured at “public” locations and is assumed to be color group 1

Div 05 Metal

- Steel to be supplied bare and ready to receive fireproofing



Date: April 5, 2023

Project: Water Street Parking Garage

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- *Due to the size of several large steel members (i.e. W40, W44, etc.) there are fabrication requirements that may limit the roll dates. We have included \$66,400 within the base bid for early procurement of 3 W44 beams.*
- Railing systems to be fabricated by Steel Fabricator and galvanized

Div 06 Wood and Plastics

- None

Div 07 Thermal & Moisture Protection

- Waterproofing assumed at (2) elevator pits
- Parking structure to be independent of the Boscov building. An opening will be provided in the spandrel panels on the 3rd floor for future walkway

Div 08 Doors & Windows

- Overhead fire curtain is based on the use of FireKing 635 manufactured by Overhead Door Corporation

Div 09 Finishes

- Painting includes accent walls on each floor, HM doors and frames and bollards
- Temporary enclosures at elevator shafts are wall type S2

Div 10 Specialties

- Some signage is shown to be attached directly to the beam portion of the precast tees. This attachment location needs to be reviewed with the precast manufacturer prior to installation. Attachment location subject to change

Div 11 Equipment

- We have included an allowance of \$157,000 for parking equipment.

Div 13 Special Construction

- None

Div 21 Fire Protection

- None

Div 22 Plumbing

- We have included 1 internal hose bib per parking level (5 total)

Div 26/27/28 Electrical/Communications/Security

- Rigid conduit and cabling for future apartments is included in the 6th floor apartments breakout in lieu of specified bus duct
- *Exterior colored accent lighting is included on every other column along Water and Henry Street*

Div 31/32/33 Earthwork/Exterior Improvements/Utilities

- We have included the reuse of existing onsite soils for fills and backfill



- Item 4 gravel used for all subbases
- We have not included any underground demolition beyond what is shown on drawing S100
- Landscaping and site furnishings have not been included
- Asphalt at 1st floor slab as shown on Architectural and Civil documents, not structural

Div 31 Steel Piles

- We have included 2ea Static Load Tests (Quick Test Method), one on new and one on existing
- We have included 2ea Dynamic Load Tests, one on new and one on existing
- We have included 2ea Lateral Load Tests, one on new and one on existing
- Pile condition – We have not included cutting off existing piles as discussed in the geotechnical report. We believe concrete can be removed without damage to piles

Exclusions

General

- Sales tax
- All investigative testing
- All 3rd Party Testing during construction
- Vibration controls
- Hazardous material removal or disposal
- Building permit/fees
- Flood insurance
- Architectural, structural & civil engineering fees
- M/WBE and/or local participation labor requirements
- Utility company fees associated with relocations, installation and energy usage/consumption by Owner, inclusive of temporary electrical and gas usage
- SWPPP and associated inspections
- Offsite contractor parking, any costs associated with parking is assumed to be absorbed by The City. We assume 50 spaces will be required
- No snow melt/ snow management systems have been included. Owner requirements and discussions need to take place prior to design finalization

Div 02 Existing Conditions

- Structural modification to existing building

Div 03 Concrete

- Waterproofing under ground floor

Div 03 Precast

- *Precast bumpers are no longer required by code. The spandrel panel is designed to accommodate impact load*

Div 05 Metals



Date: April 5, 2023

Project: Water Street Parking Garage

Page 4 of 5

- None

Div 06 Wood and Plastics

- None

Div 07 Thermal & Moisture Protection

- Damproofing/waterproofing of foundations
- Fireproofing of structural steel at underside of 6th floor deck

Div 08 Doors & Windows

- Automatic operators at storefront and HM doors

Div 09 Finishes

- Painting of underside of precast per note 3 on Reflected Ceiling Plans
- Painting of railings, railings to are galvanized
- Painting of CMU walls
- Fit out of Lobby/Trash/compactor/etc. space
- Finished flooring materials

Div 10 Specialties

- None

Div 11 Equipment

- Pay on foot machine

Div 12 Furnishings

- None

Div 13 Special Construction

- None

Div 22 Plumbing

- No insulation or heat trace on domestic water to interior/exterior hose bibs. To be drained in fall

Div 23 HVAC

- None

Div 26/27/28 Electrical/Communications/Security

- Power Company Charges
- Vehicle Charging Stations by Owner. Conduit is included in our price only
- Bus duct for apartments (conduit and cabling is provided in lieu of)

Div 31/32/33 Earthwork/Exterior Improvements/Utilities

- Gas service
- Site lighting and electric service
- Removal and replacement of unsuitable soils



- Heavy duty dewatering, foundation drains, and under slab drains have not been included as the project does not reside in flood zone
- Landscaping and site furnishings

Div 31 Steel Piles

- *Replacement of existing piles deemed to be unserviceable*

Apartment Associated Construction Costs

- If any work associated with the Apartment construction is changed or deleted, then notification to the Contractor needs to be made at time of Contract Award.
- *The 6th floor podium has been provided as an add alternate. This alternate must be accepted by 4/28/23 for pricing to hold*
 - *Summary Alternate scope of work for 6th floor podium*
 - *Extension of precast columns to support structural framing as shown on S-106a and S-106b*
 - *Addition of structural steel framing and decking and associated embeds as shown on S-106a and S-106b*
 - *Placement of the concrete slab on deck and associated reinforcing as shown on S-106a and S-106b*
 - *Installation of the electrical service conduit and cabling that would service the apartments as well as the empty data conduits from 1st floor to 6th floor as shown on E-100, E-112 through E-115*
 - *Installation of 5th floor deck mounted lighting as shown on E-115. The intent would be to replace this lighting with pole mounted fixtures*
 - *Installation of the 5th floor fire protection system per as shown on FP115*
 - *Installation of the fire protection service to future apartments on shown on FP301*
 - *Installation of the domestic water, storm and sanitary/waste and vent piping as shown on P111 through P115*



Alternate List & Descriptions

Pike

04 – Alternate List and Description

- **Add Alternate - 6th Floor Podium**
 - *Alternate Description:*
 - *Extension of precast columns to support structural framing as shown on S-106a and S-106b*
 - *Addition of structural steel framing and decking and associated embeds as shown on S-106a and S-106b*
 - *Placement of the concrete slab on deck and associated reinforcing as shown on S-106a and S-106b*
 - *Installation of the electrical service conduit and cabling that would service the apartments as well as the empty data conduits from 1st floor to 6th floor as shown on E-100, E-112 through E-115*
 - *Installation of 5TH floor deck mounted lighting as shown on E-115. The intent would be to replace this lighting with pole mounted fixtures*
 - *Installation of the 5th floor fire protection system per as shown on FP115*
 - *Installation of the fire protection service to future apartments on shown on FP301*
 - *Installation of the domestic water, storm and sanitary/waste and vent piping as shown on P111 through P115*

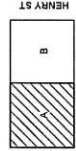




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CITY OF BINGHAMTON
WATER ST.
PARKING
STRUCTURE
BINGHAMTON, NY

REV #	DESCRIPTION	DATE
01	ISSUED FOR PERMITS	12/22/23

JOB NO.	13079
SCALE	1/8" = 1'-0"
ISSUE DATE	
DRAWN BY	BEF
CHECKED BY	SJR

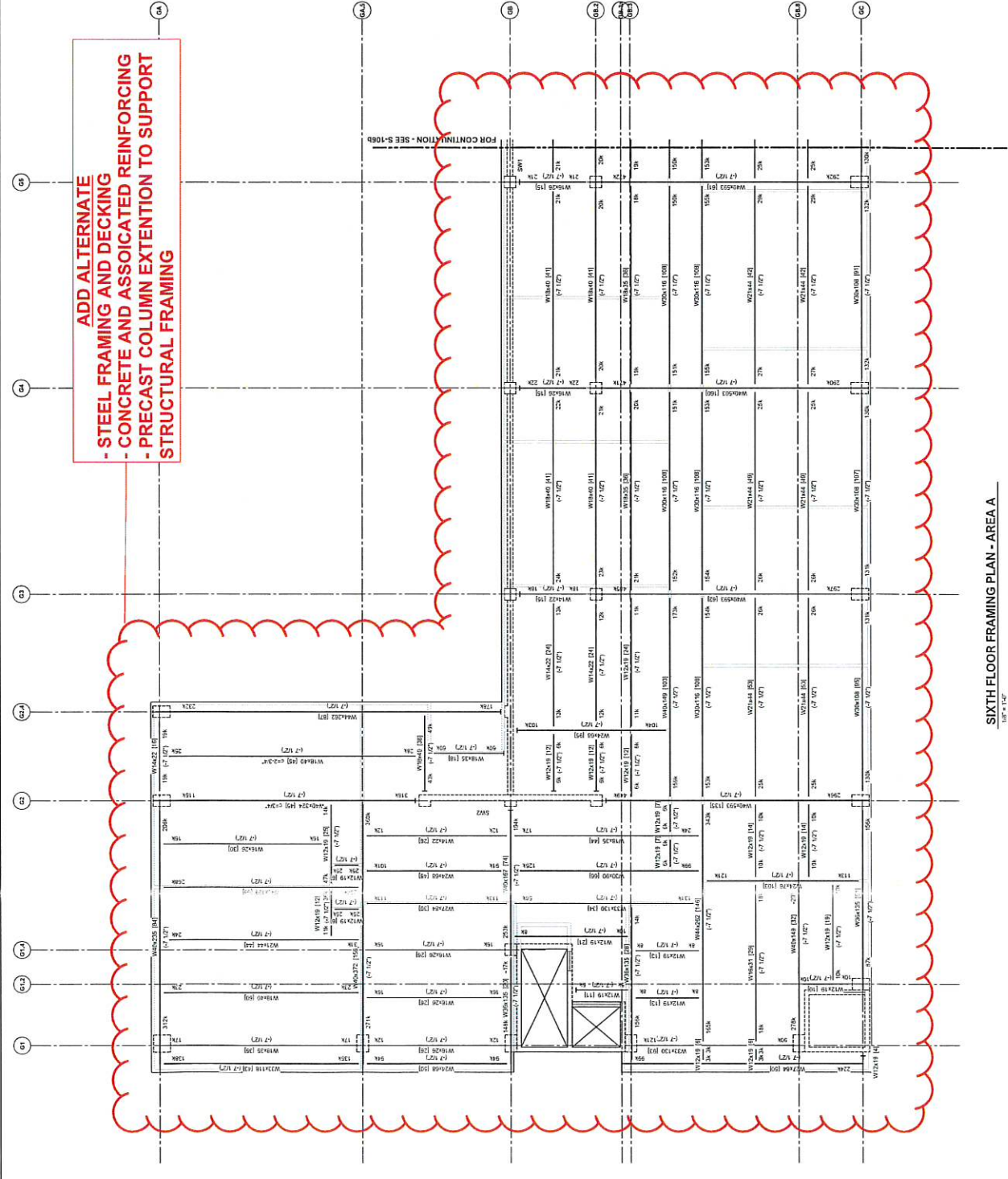
DRAWING TITLE
SIXTH FLOOR FRAMING PLAN - AREA A

S-106a

NOTES:

- TOP OF STRUCTURAL SLAB DATUM ELEVATION = 995.68
- TYPICAL STRUCTURAL SLAB SHALL BE 4" CT CONCRETE REINFORCED WITH #4 @ 18" ON CENTER. REINFORCEMENT SHALL BE WELDED WIRE MESH WITH #4 @ 18" ON CENTER. REINFORCEMENT SHALL BE WELDED WIRE MESH WITH #4 @ 18" ON CENTER. REINFORCEMENT SHALL BE WELDED WIRE MESH WITH #4 @ 18" ON CENTER.
- (-)- INDICATES TOP OF STEEL ELEVATION RELATIVE TO THE DATUM ELEVATION IN NOTE 1.
- (+)- INDICATES QUANTITY OF 3/4" x 4" SHEAR STUD PINS UNLESS OTHERWISE NOTED.
- (+)- INDICATES UPWARD CURB AT MIDSPAN OF BEAM IF SPECIFIED.
- "0" INDICATES VERTICAL BEAM END REACTION FOR DESIGN OF SIMPLE SHEAR CONNECTIONS.
- "100" INDICATES MOMENT CONNECTION TO BE DESIGNED FOR THE MOMENT (P+HS) INDICATED.
- "100" INDICATES MOMENT CONNECTION TO BE DESIGNED FOR THE MOMENT (P+HS) INDICATED.
- "100" INDICATES VERTICAL BRACING BELOW. REFER TO BRACED FRAME ELEVATIONS.
- "100" INDICATES EMBEDDED FLATE CONNECTION. SEE TYPICAL EMBEDDED FLATE CONNECTION DETAIL.
- "100" INDICATES TYPICAL DALL WITH BUTT JOINT SHEAR CONNECTION DETAIL.
- COORDINATE SIZE AND LOCATION OF ALL FLOOR FINISHES. REFER TO ARCHITECTURAL DRAWINGS. MECHANICAL ELECTRICAL AND PLUMBING SHALL BE SHOWN IN PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR SUPPORTS IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS UNLESS OTHERWISE INDICATED.
- FOR GENERAL NOTES, SEE S-019 FOR COLUMN SCHEDULE, SEE S-019 FOR TYPICAL DETAILS, SEE S-019 FOR TYPICAL DETAILS, SEE S-019 FOR TYPICAL DETAILS.

**ADD ALTERNATE
- STEEL FRAMING AND DECKING
- CONCRETE AND ASSOCIATED REINFORCING
- PRECAST COLUMN EXTENSION TO SUPPORT
STRUCTURAL FRAMING**



STEEL DESIGN SHOWN FOR PRELIMINARY PRICING ONLY. FINAL DESIGN IS PENDING DESIGN AUTHORIZATION FOR RESIDENTIAL FLOORS ABOVE.

SIXTH FLOOR FRAMING PLAN - AREA A
1/8" = 1'-0"





REF PLAN
 CITY OF BINGHAMTON
WATER ST. PARKING STRUCTURE
 BINGHAMTON, NY

REV. #	REVISION	DATE
1	ISSUED FOR PERMIT	02/22/2023

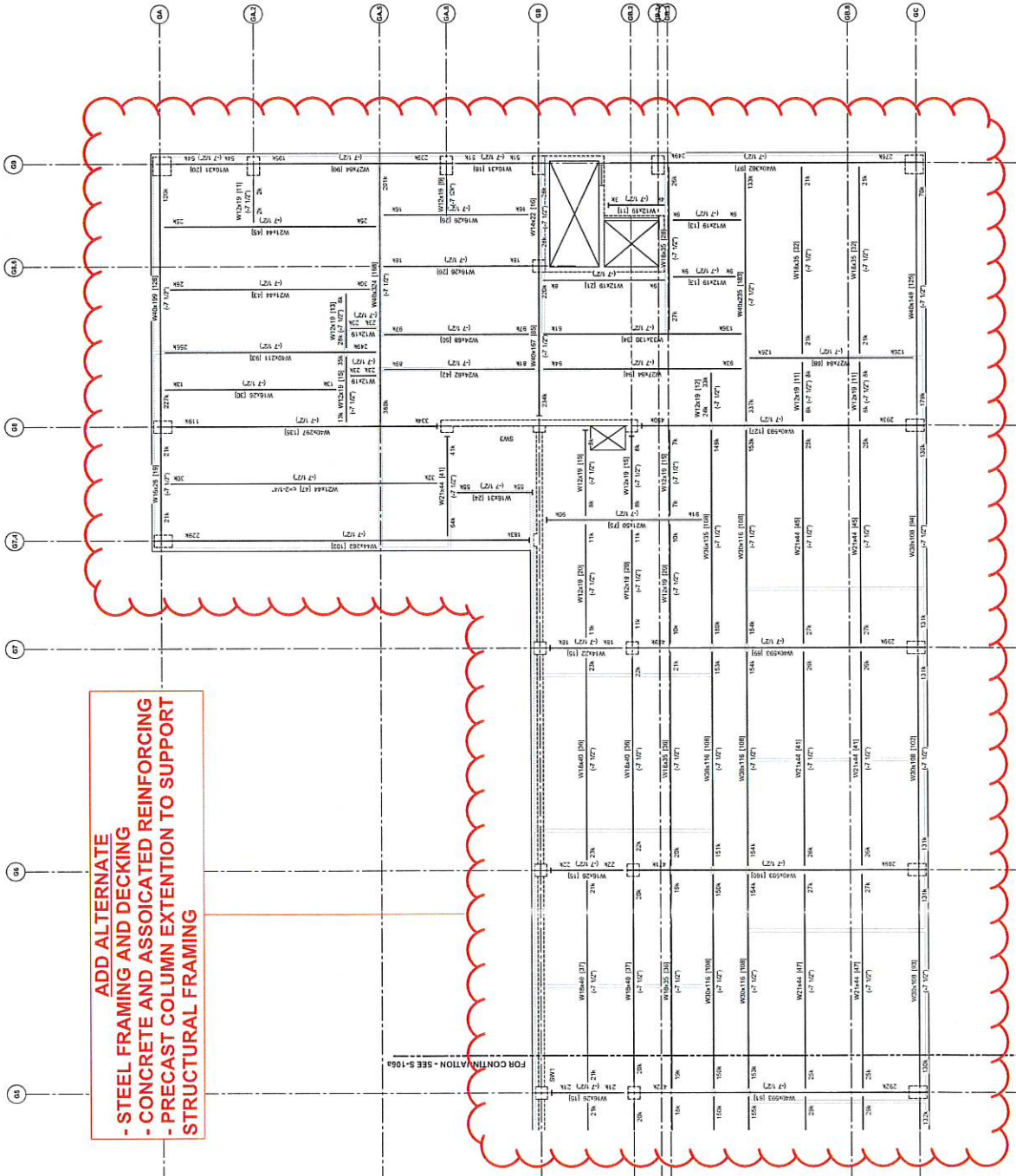
JOB NO.	210779
SCALE	1/8" = 1'-0"
ISSUE DATE	
DESIGNED BY	BE
CHECKED BY	SM

DRAWING TITLE
SIXTH FLOOR FRAMING PLAN - AREA B

S-106b

NOTES

1. ALL STRUCTURAL SLAB DATUM ELEVATION = 955.58 HAWKINS
2. TYPICAL STRUCTURAL SLAB SHALL BE 4.12" CONCRETE REINFORCED WITH #4E-W@12"X1" WELDED WIRE MESH. MINIMUM TOTAL SLAB THICKNESS = 7.12".
3. (...) INDICATES TOP OF STEEL ELEVATION RELATIVE TO THE DATUM ELEVATION IN NOTE 1.
4. (...) INDICATES THE QUANTITY OF #4E #8 SPERM STUDD FOR FOOT UNLESS OTHERWISE NOTED. (1) = 1
5. (...) INDICATES UPWARD CAMBER AT MESPAN OF BEAM IF SPECIFIED.
6. (...) INDICATES VERTICAL BEAM END REACTION FOR ALL BEAMS.
7. (...) INDICATES REINFORCING CONNECTION TO BE DESIGNED FOR THE MOMENT (F) VALUES INDICATED.
8. (...) INDICATES AXIAL CONNECTION TO BE DESIGNED FOR THE FORCE (P) VALUES INDICATED.
9. (...) INDICATES VERTICAL BRACING BELOW. REFER TO BRACED FRAME ELEVATIONS.
10. (...) INDICATES EMBEDDED PLATE CONNECTION.
11. (...) INDICATES FULL LENGTH STEEL BEAM OR GIRDER CONNECTION. SEE TYPICAL FULL LENGTH STEEL BEAM GIRDER CONNECTION DETAIL.
12. COORDINATE SIZE AND LOCATION OF ALL FLOOR FINISHES WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS. PENETRATIONS SHALL BE SHOWN ON PLAN. PENETRATIONS SHALL BE TYPICAL SLAB PENETRATIONS UNLESS OTHERWISE INDICATED.
13. FOR GENERAL NOTES, SEE S-031 FOR BRACING ELEVATIONS, SEE S-200 FOR TYPICAL DETAILS, SEE S-200 ON...



**ADD ALTERNATE
 - STEEL FRAMING AND DECKING
 - CONCRETE AND ASSOCIATED REINFORCING
 - PRECAST COLUMN EXTENSION TO SUPPORT
 STRUCTURAL FRAMING**

**STEEL DESIGN SHOWN FOR
 PRELIMINARY PRICING ONLY.
 FINAL DESIGN IS PENDING FOR
 DESIGN AUTHORIZATION FOR
 RESIDENTIAL FLOORS ABOVE.**

SIXTH FLOOR FRAMING PLAN - AREA B
 1/8" = 1'-0"



100% CONSTRUCTION DOCUMENTS



Client Name

**WATER STREET
PARKING GARAGE**

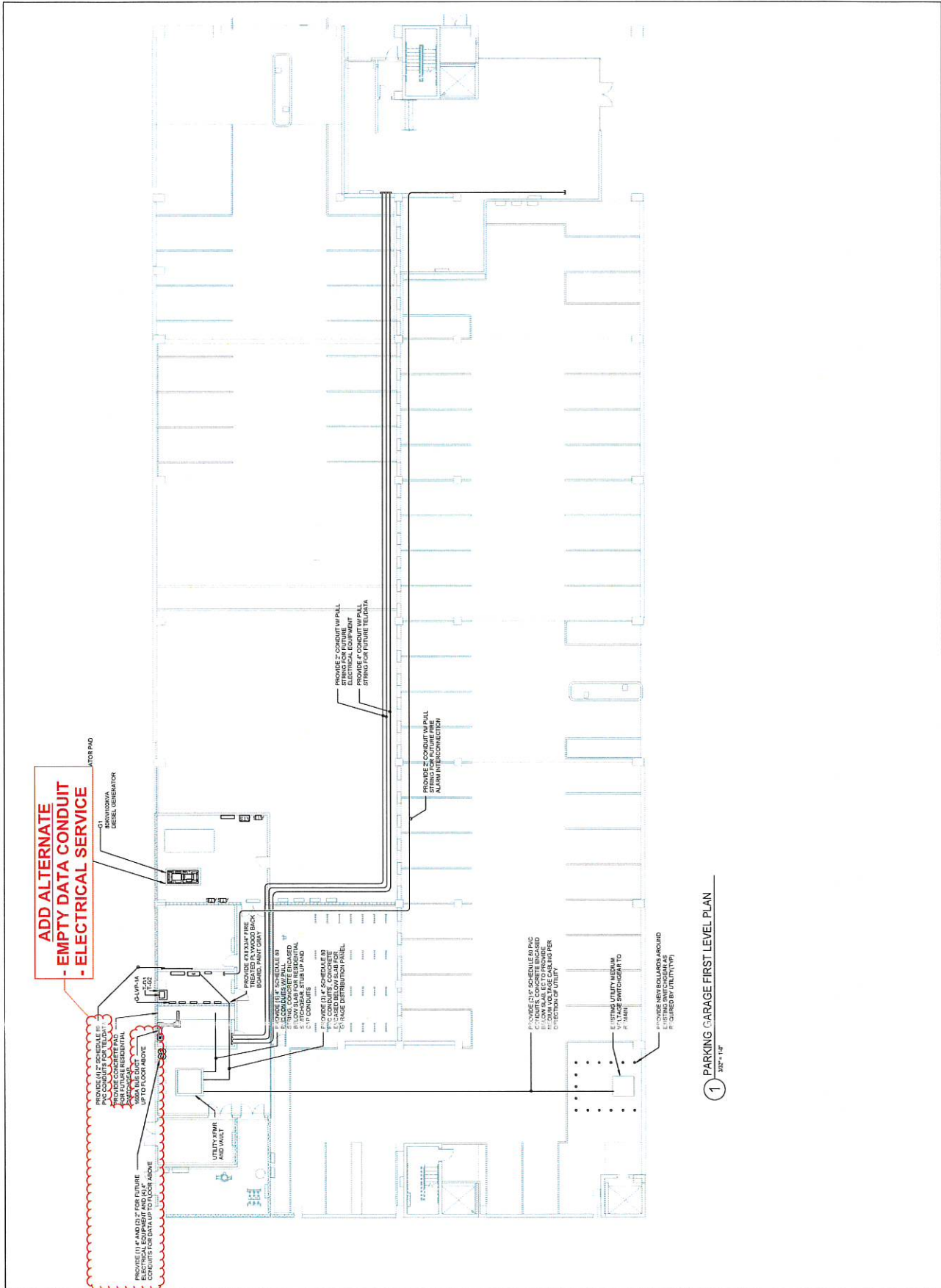
183 WATER STREET
BINGHAMTON, NY

REV. #	DESCRIPTION	DATE

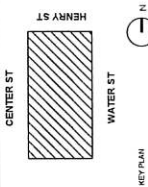
JOB NO.	221160
SCALE	AS NOTED
ISSUE DATE	02/20/22
DRAWN BY	RS
CHECKED BY	ES

DATE PLOTTED: 02/22/22 10:47:03 AM
PLOTTER: HP DesignJet T1300PS
PLOT DEVICE: HP DesignJet T1300PS
PLOT FILE: E:\PROJECTS\221160\221160.dwg

**DRAWING TITLE
PARKING GARAGE FIRST LEVEL PLAN -
LEVEL PLAN -
CONDUIT
ROUTING
E100**



1 PARKING GARAGE FIRST LEVEL PLAN
3/8\"/>



Client Name

**WATER STREET
PARKING GARAGE**
183 WATER STREET
BINGHAMTON, NY

REV	DESCRIPTION	DATE

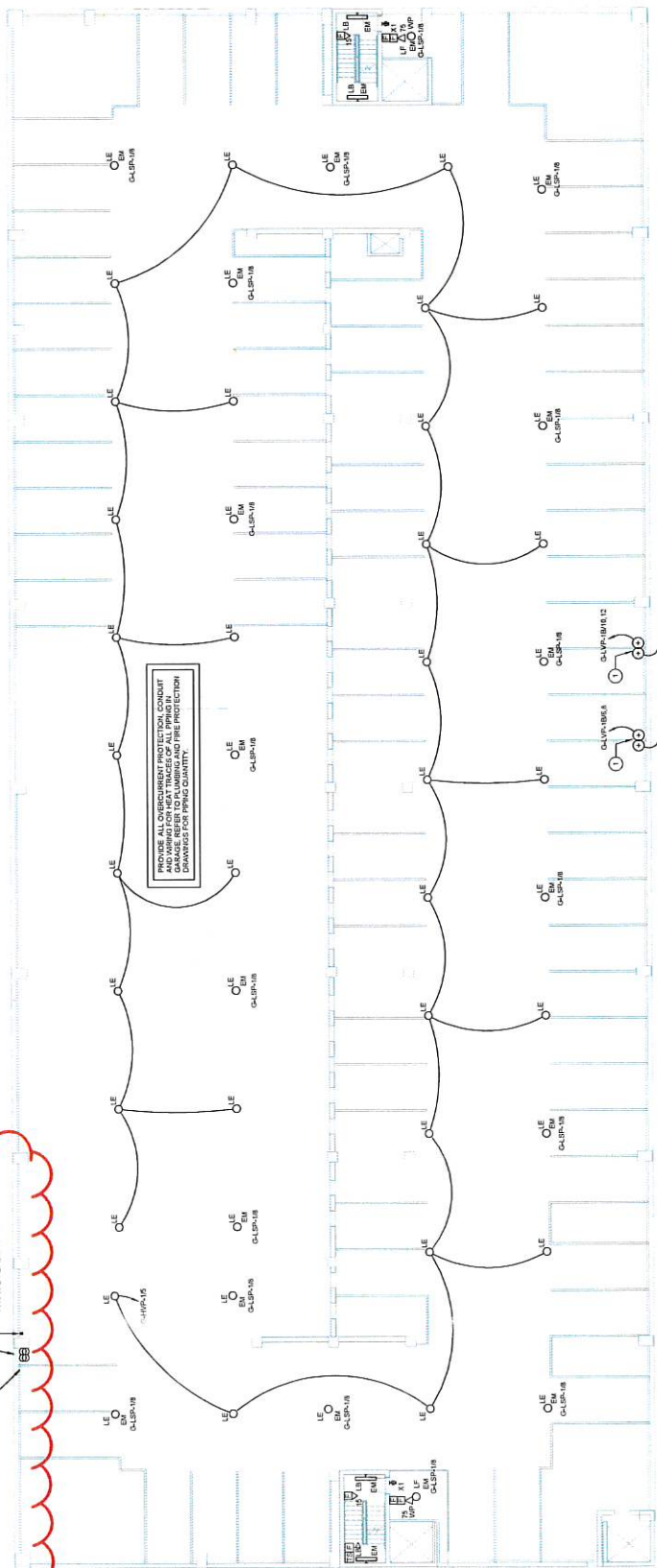
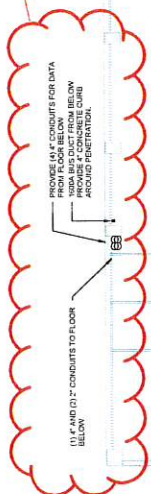
JOB NO.	201180
SCALE	AS NOTED
ISSUE DATE	02/20/23
DRAWN BY	RS
CHECKED BY	ES

DRAWING TITLE
PARKING GARAGE SECOND LEVEL PLAN

E112

Page 1

**ADD ALTERNATE
- EMPTY DATA CONDUIT
- ELECTRICAL SERVICE**



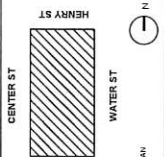
GENERAL NOTES:
A. REFER TO SHEET E111 FOR GENERAL HOTEL.

DRAWING NOTES:

- 1. PROVIDE 1/2" SINGLE PHASE AIR POWER CONNECTIONS TO CAR GARAGE. FEED FROM GARAGE CIRCUIT BREAKER IN PANEL SHOWN. CONDUIT PROVIDE CONDUIT WITH RAIL STRONG.

1. PARKING GARAGE SECOND LEVEL PLAN
3/2" x 1/2"

100% CONSTRUCTION DOCUMENTS



Client Name

**WATER STREET
PARKING GARAGE**

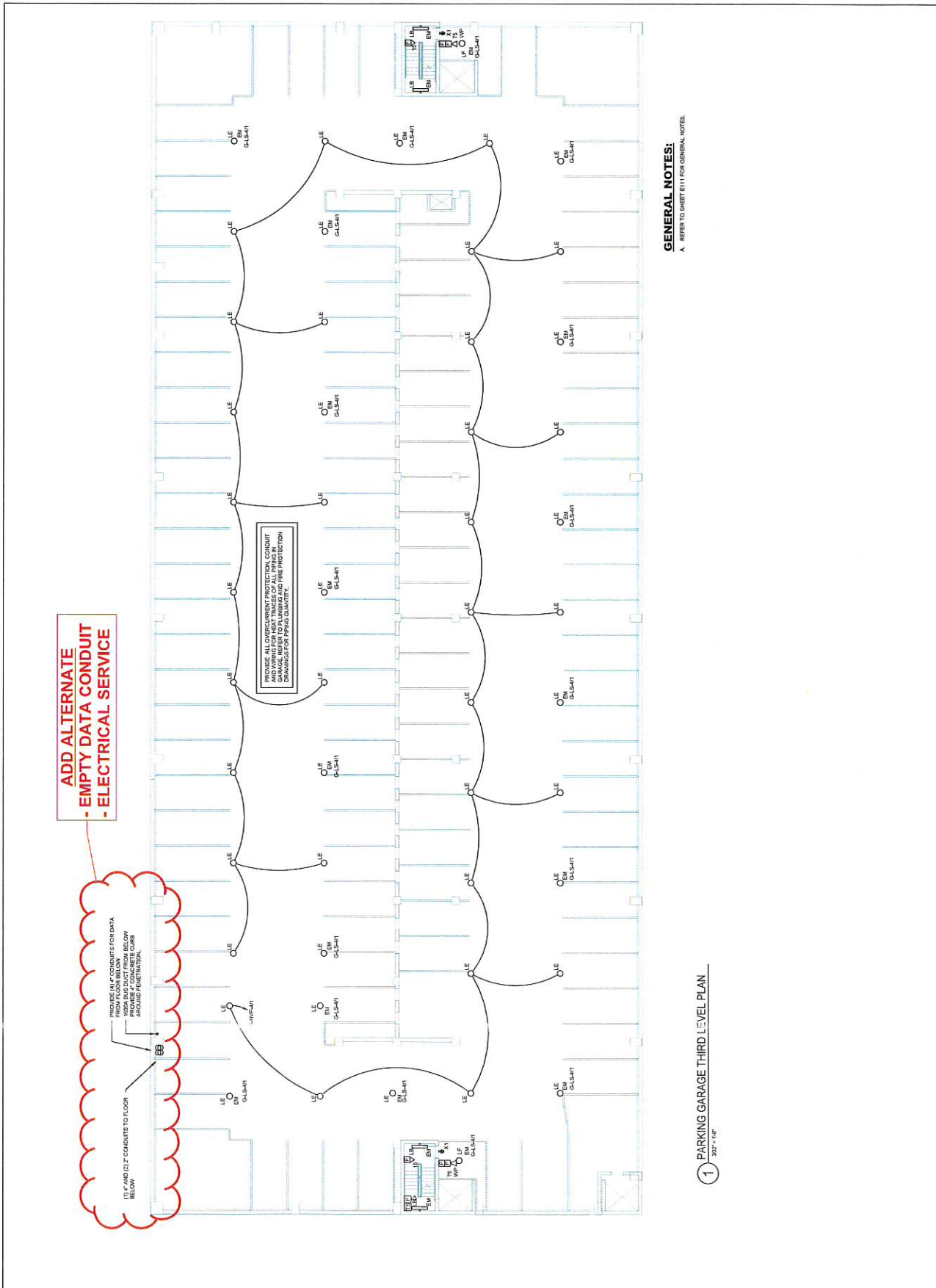
183 WATER STREET
BINGHAMTON, NY

REV. #	DESCRIPTION	DATE

JOB NO.	221160
SCALE	AS NOTED
ISSUE DATE	02/20/22
DRAWN BY	RS
CHECKED BY	ERS

DRAWING TITLE
PARKING GARAGE THIRD LEVEL PLAN

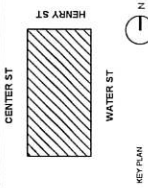
E113



GENERAL NOTES:

A. REFER TO SHEET E111 FOR GENERAL NOTES.

1 PARKING GARAGE THIRD LEVEL PLAN
2022-1-12

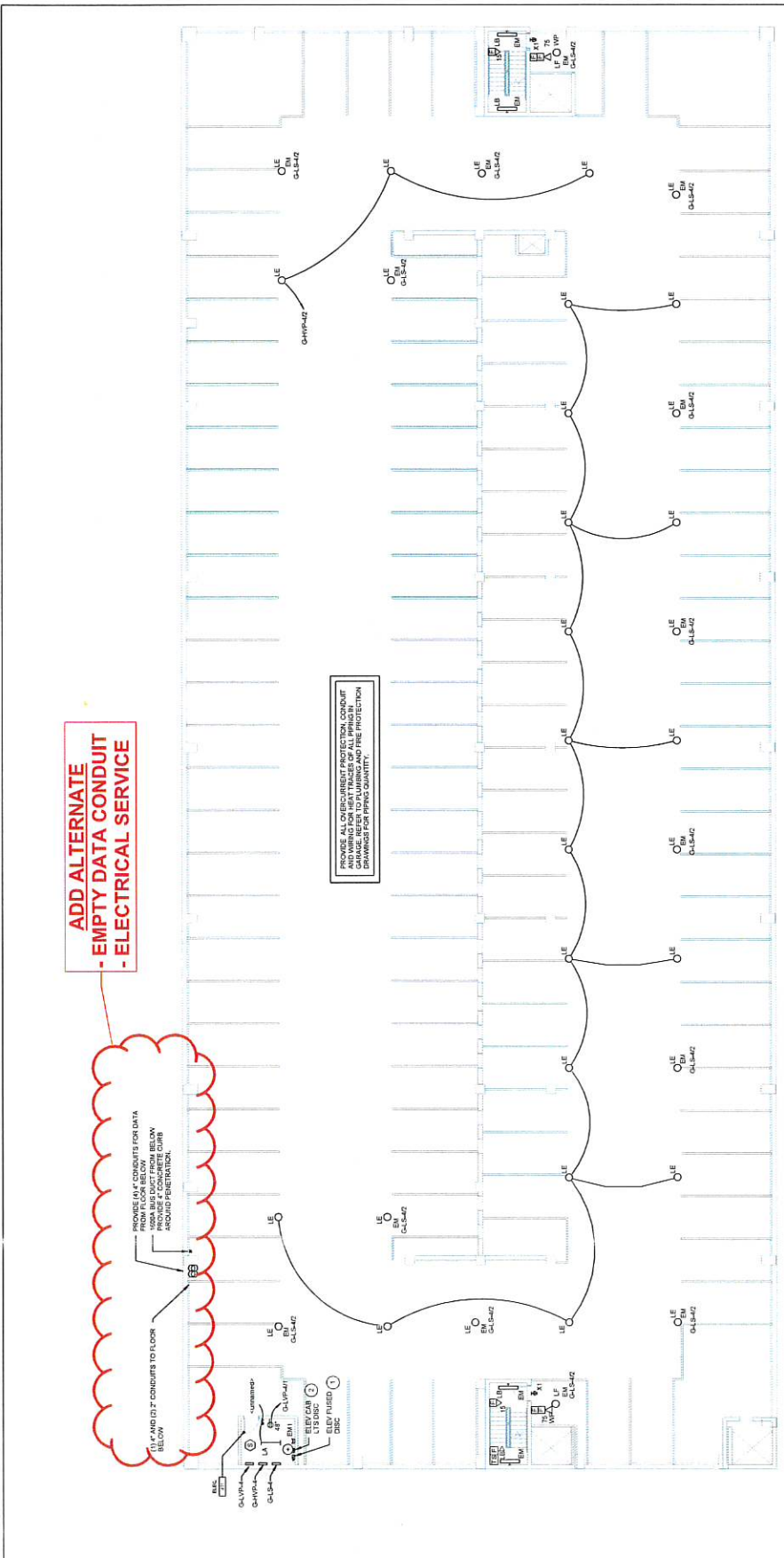


REV. #	DESCRIPTION	DATE

JOB NO.	21180
SCALE	AS NOTED
ISSUE DATE	02/20/23
DRAWN BY	RS
CHECKED BY	EJS

DRAWING TITLE
PARKING GARAGE FOURTH LEVEL PLAN

E114



**ADD ALTERNATE
- EMPTY DATA CONDUIT
- ELECTRICAL SERVICE**

PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. ADD (1) #2 CONDUITS TO FLOOR BELOW FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW.

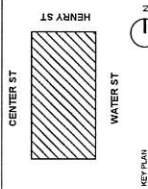
PROVIDE ALL OVERCURRENT PROTECTION, CONDUIT AND WIRING FOR HEAT TRACES OF ALL BRINGS IN FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW.

1 PARKING GARAGE FOURTH LEVEL PLAN
3/12" = 1'-0"

GENERAL NOTES:
A. REFER TO SHEET E111 FOR GENERAL NOTES.

DRAWING NOTES:

1. PROVIDE 200V, 3 PHASE, 100A FUSED, 180A IN LOCKABLE ELECTRICAL PANEL. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW.
2. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW.
3. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW. PROVIDE (1) #2 CONDUITS FOR DATA FROM FLOOR BELOW.



Client Name
**WATER STREET
PARKING GARAGE**
180 WATER STREET
BINGHAMTON, NY

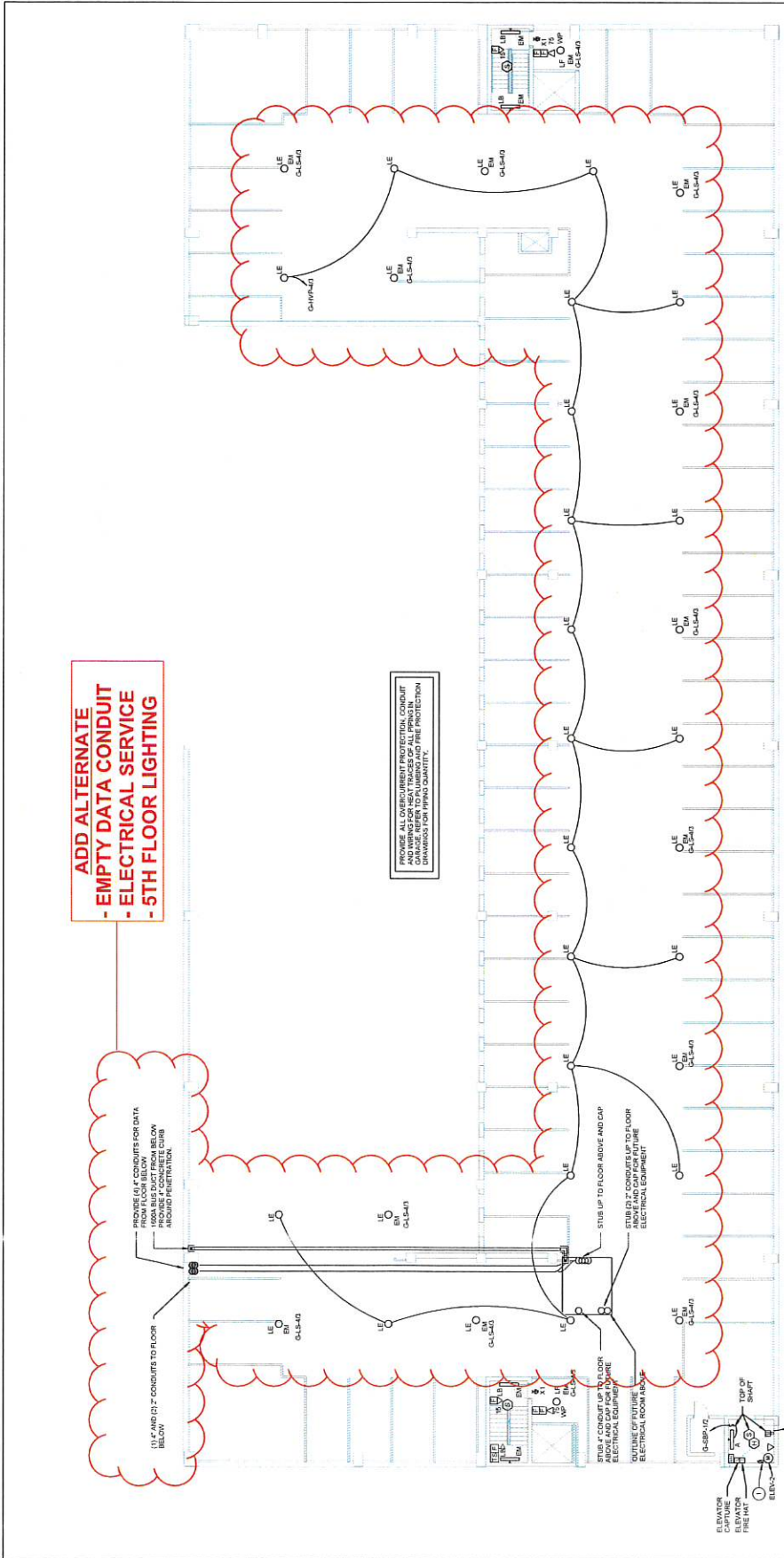
REV. #	DESCRIPTION	DATE

JOB NO.	21160
SCALE	AS NOTED
ISSUE DATE	02/23/21
DRAWN BY	RS
CHECKED BY	EAS

DRAWING TITLE
**PARKING
GARAGE FIFTH
LEVEL PLAN**

E115

ADD ALTERNATE
- EMPTY DATA CONDUIT
- ELECTRICAL SERVICE
- 5TH FLOOR LIGHTING



PROVIDE ALL OVERSIGHT PROTECTION CONDUIT CHANGE REFER TO DRAWING AND FIRE PROTECTION DRAWINGS FOR WIND QUANTITY.

- GENERAL NOTES:**
- A. REFER TO SHEET E111 FOR GENERAL NOTES.
- DRAWING NOTES:**
- 1. PROVIDE 20M, 3 PHASE, 100A, NON FUSED, NEMA 3R, LOCKABLE, ELECTRICAL EQUIPMENT AND CONTROL SCHEDULE FOR FIFTH FLOOR. PROVIDE 1/2" CONDUIT AND RIGID FLEXIBLE CONDUIT PRIOR TO PACKAGE AND ROOM IN FOR ELECTRICAL SUBMITTAL. CONTRACTOR SHALL MAKE ALL NECESSARY CHANGES.

1 PARKING GARAGE FIFTH LEVEL PLAN
3/2" x 1/2"



REV	DESCRIPTION	DATE
1	100% CONSTRUCTION DOCUMENTS	05-22-23

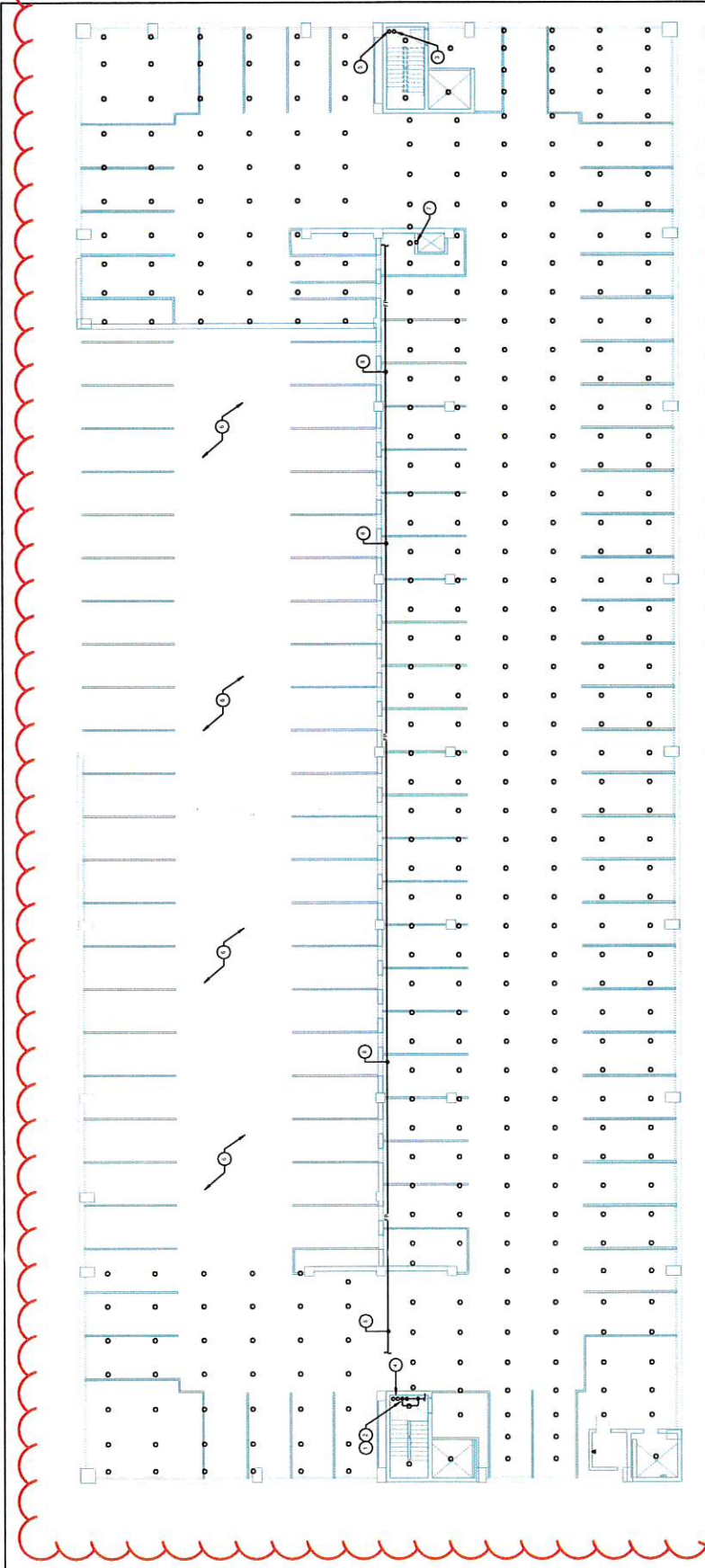
JOB NO.	23119
SCALE	AS NOTED
ISSUE DATE	02/23/23
DRAWN BY	WAB
CHECKED BY	MM

DATE PLOTTED: 05/22/23 10:58 AM
PLOTTER: HP DesignJet T1200
PLOT SCALE: 1"=1'-0"

DRAWING TITLE

PARKING GARAGE FIFTH LEVEL PLAN

FP115



DRAWING NOTES:

1. SPRINKLER CONTROL AND DRY VALVE ASSEMBLY REFER TO DETAIL DRAWINGS.
2. SPRINKLER STANDPIPE AND EXPRESS MAIN REFER TO DETAIL DRAWINGS.
3. DRY SPRINKLER STANDPIPE WITH HOSE STATION IN STAIRWELL REFER TO DETAIL DRAWINGS.
4. PROVIDE HOSE CONNECTIONS AND SPACES DIMS FOR FUTURE APARTMENTS. PROVIDE HOSE TRACES ON RISERS.
5. WET SPRINKLER STANDPIPE FOR FUTURE APARTMENT. PROVIDE HOSE TRACE ON RISER.
6. PROVIDE HOSE CONNECTIONS AND SPACES DIMS FOR FUTURE APARTMENTS.
7. WET RISER FOR FUTURE TRASH CHUTE. PROVIDE HOSE TRACE ON RISER.
8. DRY SPRINKLER MAIN TO SERVE GARAGE SPRINKLERS.

GENERAL NOTES:

- A. COORDINATE ALL SPRINKLER MAINS, BRANCHES AND HEAD LOCATIONS WITH ALL OTHER TRADES.
- B. ALL SPRINKLER SYSTEMS SHALL BE INSTALLED ACCORDING TO NFPA 13.
- C. PROVIDE FULL SPRINKLER COVERAGE FOR ALL CONCEALED SPACES PER NFPA 13.
- D. 4" CP PER NFPA 13.
- E. PROVIDE DRY SPRINKLER HEADS IN ALL CONCEALED SPACES PER NFPA 13. PROVIDE HOSE TRACE AS SPECIFIED ON WET SPRINKLER FIRE LINES AS SHOWN ON DETAIL DRAWINGS. PROVIDE HOSE TRACES TO ALL CONCEALED SPACES PER NFPA 13. PROVIDE HOSE TRACES TO ALL CONCEALED SPACES PER NFPA 13. PROVIDE HOSE TRACES TO ALL CONCEALED SPACES PER NFPA 13. PROVIDE HOSE TRACES TO ALL CONCEALED SPACES PER NFPA 13.

THIS BUILDING SHALL BE PROTECTED BY AN AUTOMATIC DRY SPRINKLER SYSTEM PER NFPA 13.

**ADD ALTERNATE
- FIRE PROTECTION COVERAGE OF 5TH FLOOR**

1 PARKING GARAGE FIFTH LEVEL PLAN
1/8" = 1'-0"



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13 Schenck Plaza
Buffalo, NY 14203
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100% CONSTRUCTION DOCUMENTS

Client Name

**WATER STREET
PARKING GARAGE**

183 WATER STREET
BROOKHOLM, NY

REV #	DESCRIPTION	DATE
1	PRELIMINARY	03-20-13

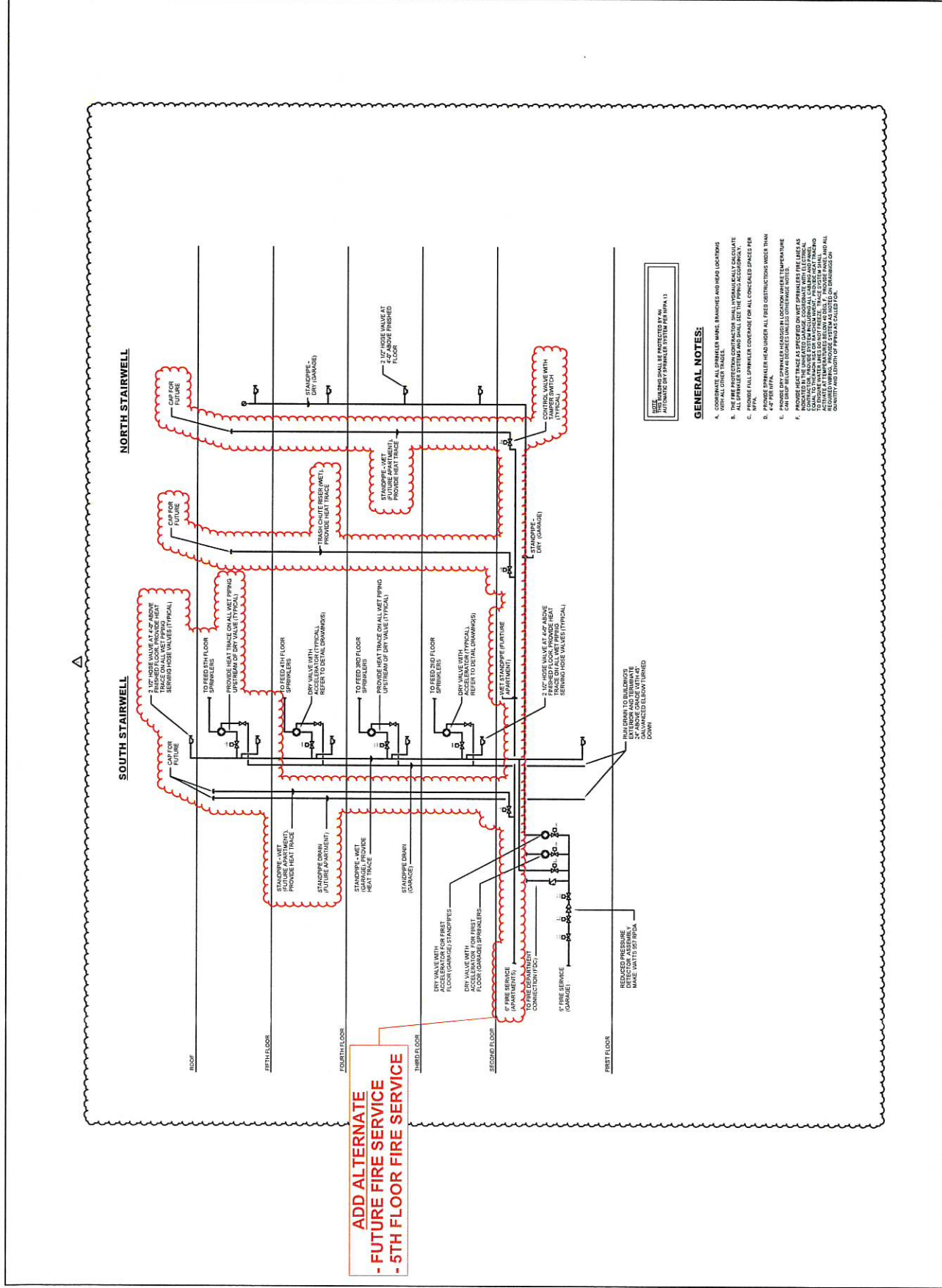
JOB NO.	21160
SCALE	AS NOTED
ISSUE DATE	03/20/13
DRAWN BY	WAB
CHECKED BY	MMO

THIS IS A PRELIMINARY DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DRIVING TITLE

FP301

Sheet 1



SEE HYDRAULIC CALCULATION SHEET FOR FLOOR 11

GENERAL NOTES:

- A. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
- B. THE FIRE PROTECTION CONTRACTOR SHALL HYDRAULICALLY CALCULATE THE SYSTEM TO VERIFY THAT IT MEETS THE REQUIREMENTS OF NFPA 13.
- C. PROVIDE FULL SPRINKLER COVERAGE FOR ALL CONCEALED SPACES PER NFPA 13.
- D. PROVIDE FULL SPRINKLER COVERAGE UNDER ALL FIBER OPTIC TRAYS.
- E. PROVIDE DRY SPRINKLER HEADS IN LOCATIONS WHERE TEMPERATURE COEFFICIENT RELAY IS REQUIRED UNLESS OTHERWISE NOTED.
- F. PROVIDE HEAT TRACES ON ALL WET PIPING TO PREVENT FREEZING. PROVIDE HEAT TRACES ON ALL WET PIPING TO PREVENT FREEZING. PROVIDE HEAT TRACES ON ALL WET PIPING TO PREVENT FREEZING.
- G. PROVIDE HEAT TRACES ON ALL WET PIPING TO PREVENT FREEZING. PROVIDE HEAT TRACES ON ALL WET PIPING TO PREVENT FREEZING.
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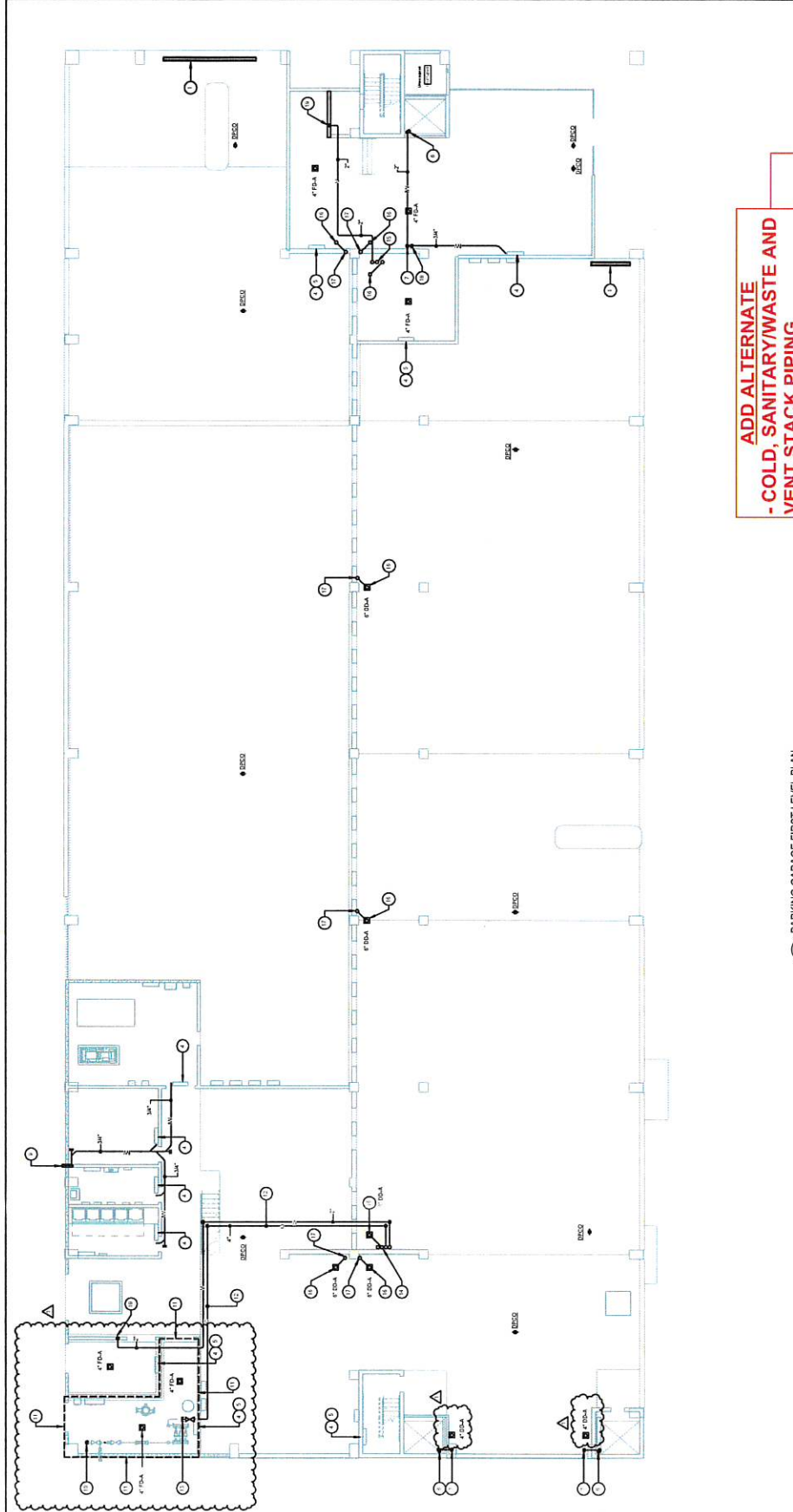
**ADD ALTERNATE
- FUTURE FIRE SERVICE
- 5TH FLOOR FIRE SERVICE**

REV #	DESCRIPTION	DATE
1	REVISIONS	10/20/23

CONVNO.	221166
SCALE	AS NOTED
ISSUE DATE	REDD
DRAWN BY	WJD
CHECKED BY	MMG

THIS DRAWING IS A CONSTRUCTION DOCUMENT AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

DRAWING TITLE
PARKING GARAGE FIRST LEVEL PLAN



**ADD ALTERNATE
- COLD, SANITARY/WASTE AND
VENT STACK PIPING**

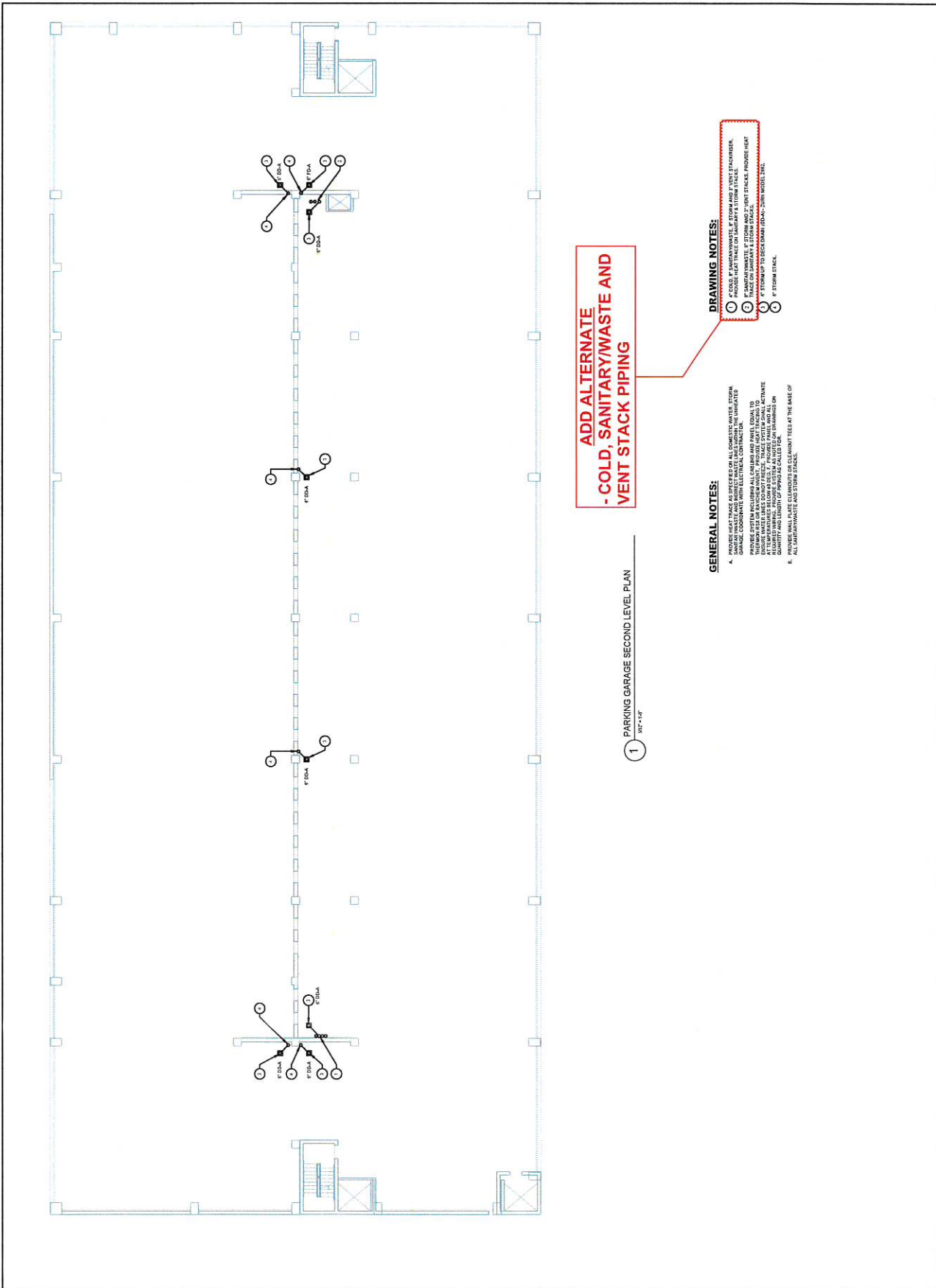
1 PARKING GARAGE FIRST LEVEL PLAN
307' x 142'

GENERAL NOTES:

1. PROVIDE HOT TRACES AS SPECIFIED BY ALL SANITARY WATER, COLD SANITARY WASTE AND INDIRECT WASTE. GAS WITHIN ALL UNLIMITED FLOOR AREAS SHALL BE PROVIDED WITH GAS DETECTORS AND SHALL BE PROVIDED WITH GAS EXHAUST SYSTEMS TO EXHAUST TO THE OUTSIDE. PROVIDE GAS EXHAUST SYSTEMS TO EXHAUST TO THE OUTSIDE. PROVIDE GAS EXHAUST SYSTEMS TO EXHAUST TO THE OUTSIDE. PROVIDE GAS EXHAUST SYSTEMS TO EXHAUST TO THE OUTSIDE.
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4. ALL SANITARY WASTE AND STORM STACKS SHALL BE PROVIDED WITH AIR SPACES AT THE BASE OF EACH STACK.

DRAWING NOTES:

1. PROVIDE HOT TRACES AS SPECIFIED. COORDINATE WITH ELECTRICAL CONTRACTOR.
2. PROVIDE GAS EXHAUST SYSTEMS TO EXHAUST TO THE OUTSIDE. PROVIDE GAS EXHAUST SYSTEMS TO EXHAUST TO THE OUTSIDE. PROVIDE GAS EXHAUST SYSTEMS TO EXHAUST TO THE OUTSIDE. PROVIDE GAS EXHAUST SYSTEMS TO EXHAUST TO THE OUTSIDE.
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**ADD ALTERNATE
- COLD, SANITARY/WASTE AND
VENT STACK PIPING**

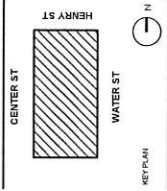
1) PARKING GARAGE SECOND LEVEL PLAN
3/17'-0"

GENERAL NOTES:

- A. PROVIDE ALL PIPING AND SUPPORTS TO BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITIONS OF THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE. PROVIDE ALL PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE. PROVIDE ALL PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE. PROVIDE ALL PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE.
- B. PROVIDE ALL PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE. PROVIDE ALL PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE. PROVIDE ALL PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE.

DRAWING NOTES:

- 1) ROOM 101: SANITARY/WASTE PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE. PROVIDE ALL PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE.
- 2) ROOM 102: SANITARY/WASTE PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE. PROVIDE ALL PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE.
- 3) ROOM 103: SANITARY/WASTE PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE. PROVIDE ALL PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE.
- 4) ROOM 104: SANITARY/WASTE PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE. PROVIDE ALL PIPING TO BE INSTALLED IN ACCORDANCE WITH THE MFG. COMPANY'S INSTALLATION MANUALS AND THE NATIONAL PLUMBING CODE.



WATER STREET
PARKING GARAGE

118 WATER STREET
BIRMINGHAM, NY

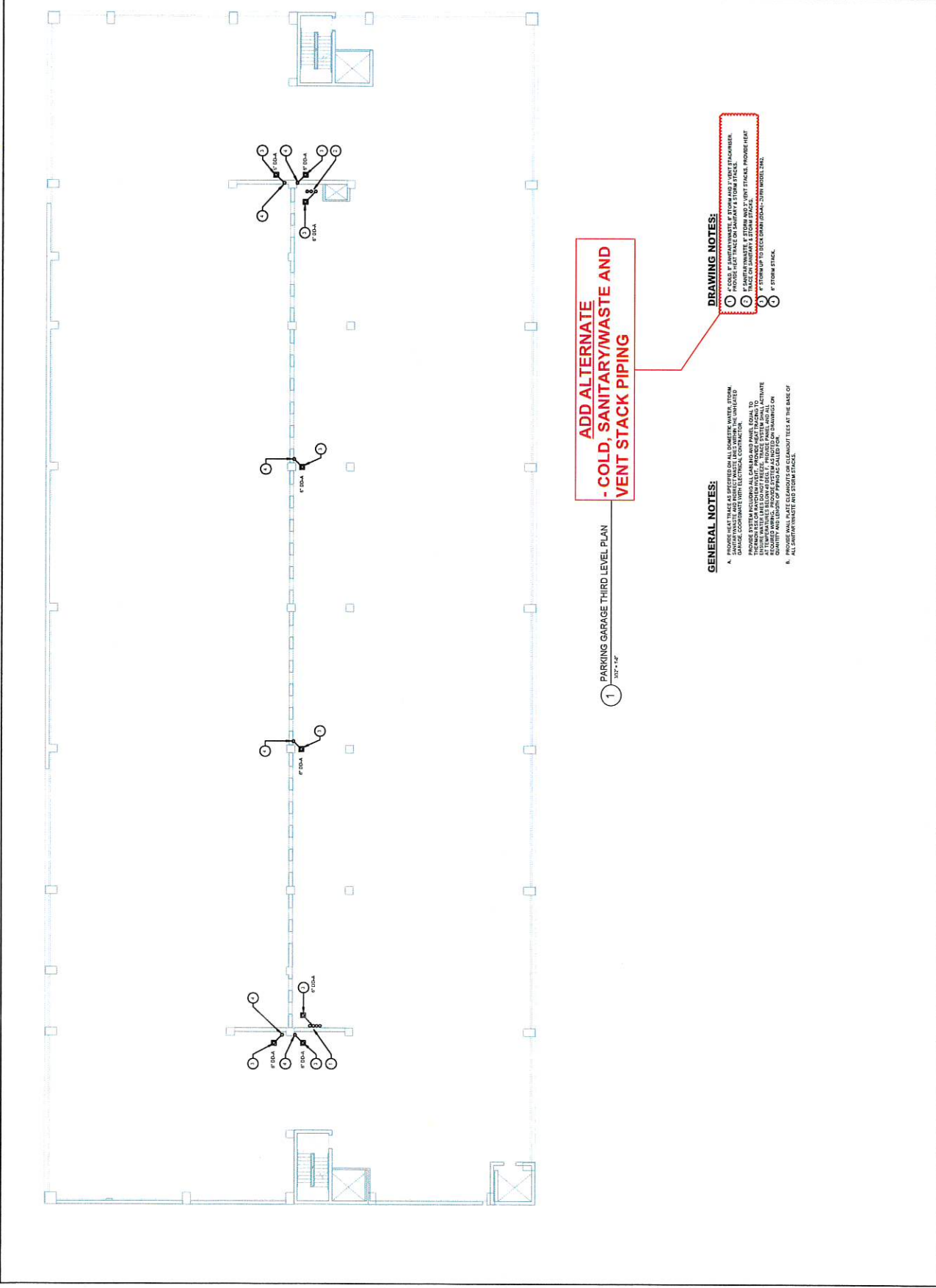
REV. #	DESCRIPTION	DATE
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JOB NO.	21116
SCALE	AS NOTED
ISSUE DATE	02/23/21
DRAWN BY	WAB
CHECKED BY	RMG

TOTAL SQUARE FEET OF WORK:
OF WORK DAYS TO BE PERFORMED:
OF WORK HOURS TO BE PERFORMED:
OF WORKERS TO BE EMPLOYED:

DRAWING TITLE
PARKING GARAGE THIRD LEVEL PLAN

P113

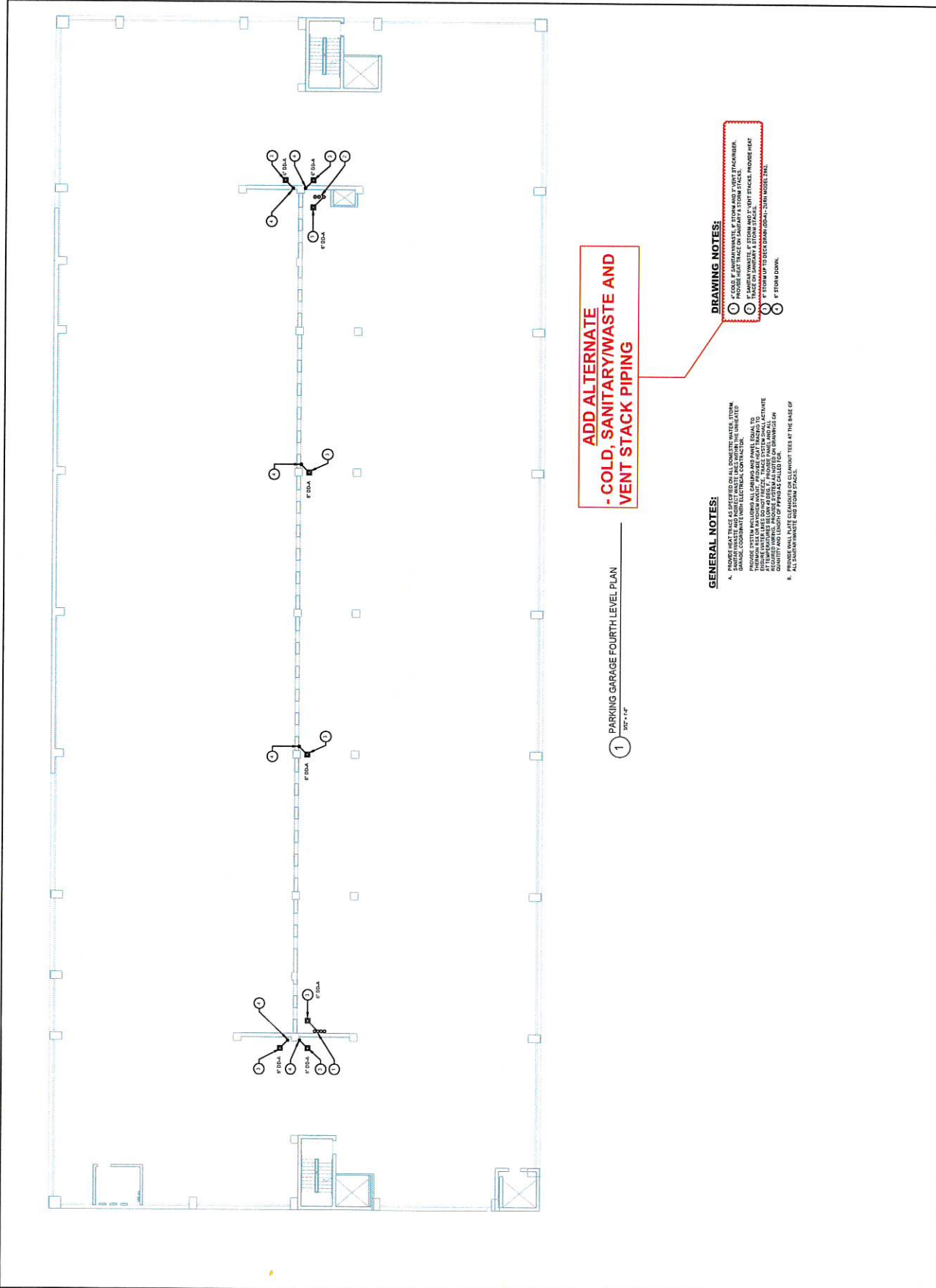


**ADD ALTERNATE
- COLD, SANITARY/WASTE AND
VENT STACK PIPING**

1 PARKING GARAGE THIRD LEVEL PLAN
3/21/21

- DRAWING NOTES:**
- 1 C-CROSS, 8" SANITARY WASTE, 8" STORM AND 8" VENT STACK/SEWER. PROVIDE HOLE TRACES ON SANITARY & STORM STACK.
 - 2 PLACE ON SANITARY & STORM STACK.
 - 3 8" STORM UP TO DECK DRAIN (DOWN-JOIN MODEL 234).
 - 4 8" STORM STACK.

- GENERAL NOTES:**
- A. PROVIDE HOLE TRACES AS SPECIFIED ON ALL DIAMETER WATER, STORM, WASTE, VENT, AND EXHAUST PIPING. UNLESS OTHERWISE NOTED, UNLISTED GROUND CONDITIONS WITHIN ELECTRICAL CONSTRUCTION.
 - B. PROVIDE SYSTEM INCLUDING ALL CASING AND PANEL EQUAL TO UTILITY MANHOLE LIVES (DO NOT TELECAST). THESE SYSTEM SHALL INCLUDE ALL NECESSARY FITTINGS, VALVES, AND CONNECTIONS. PROVIDE ALL NECESSARY CONNECTIONS AND FITTINGS TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
 - C. PROVIDE WALL PLATE CLEANOUTS OF CLEANOUT TEES AT THE BASE OF ALL SANITARY/WASTE AND STORM STACKS.

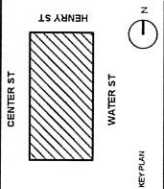


**ADD ALTERNATE
- COLD, SANITARY/WASTE AND
VENT STACK PIPING**

- DRAWING NOTES:**
- 1. CLOSE F JAVAN/WASTE, S STORM AND 2\"/>
 - 2. F SANITARY/WASTE, S STORM AND 2\"/>
 - 3. F STORM UP TO DECK DOWN (DOWN-JOIN ABOVE 2ND)
 - 4. F STORM DOWN.

- GENERAL NOTES:**
- 1. SHOWN REALITY AS SHOWN OR INDICATED WITHIN WATER, STORM, SANITARY/WASTE, S STORM, VENT STACK, AND ELECTRICAL CONTRACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS. PROVIDE ALL NECA AND NFPA STANDARDS TO THE CONTRACTOR. PROVIDE ALL NECA AND NFPA STANDARDS TO THE CONTRACTOR. PROVIDE ALL NECA AND NFPA STANDARDS TO THE CONTRACTOR. PROVIDE ALL NECA AND NFPA STANDARDS TO THE CONTRACTOR.
 - 2. ALL SANITARY/WASTE, S STORM AND VENT STACK PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL PLUMBING CODE (NPC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS. PROVIDE ALL NPC AND NFPA STANDARDS TO THE CONTRACTOR.
 - 3. ALL SANITARY/WASTE, S STORM AND VENT STACK PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL PLUMBING CODE (NPC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS. PROVIDE ALL NPC AND NFPA STANDARDS TO THE CONTRACTOR.

1 PARKING GARAGE FOURTH LEVEL PLAN
30' x 14'



Client Name

WATER STREET
PARKING GARAGE

10 WATER STREET
BUFFALO, NY

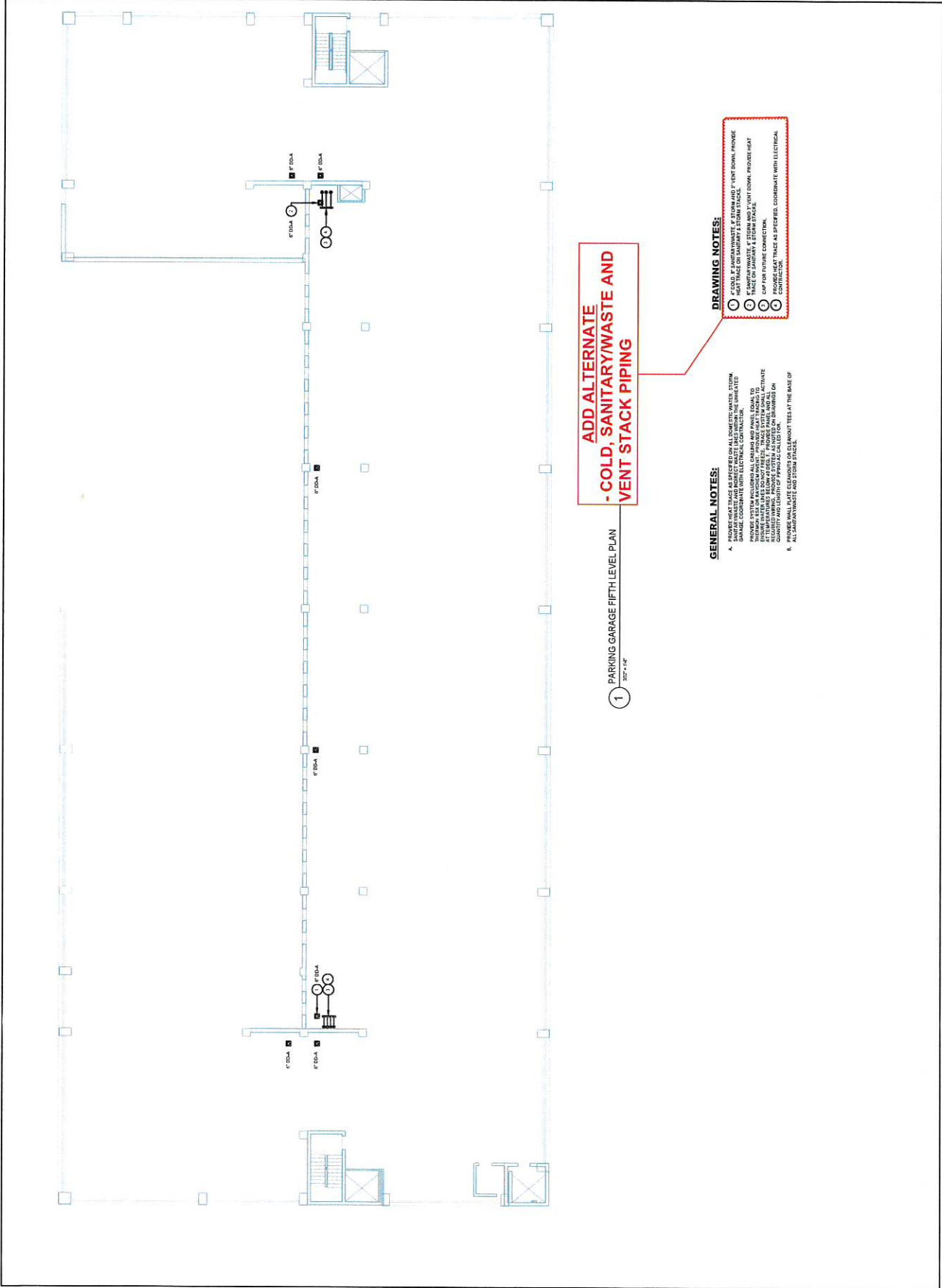
REV #	DESCRIPTION	DATE

CONV NO.	211190
SCALE	AS NOTED
ISSUE DATE	8/20/20
DRAWN BY	WMS
CHECKED BY	IMG

THIS IS A PRELIMINARY DRAWING.
IT IS NOT TO BE USED FOR CONSTRUCTION.
IT IS THE PROPERTY OF CJS ARCHITECTS.

DRAWING TITLE
PARKING GARAGE FIFTH LEVEL PLAN

P115

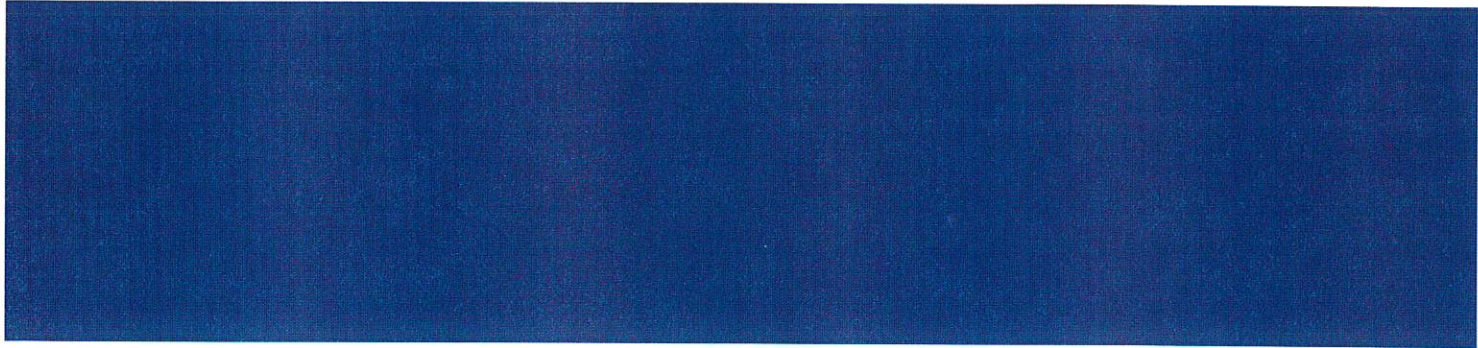


**ADD ALTERNATE
- COLD, SANITARY/WASTE AND
VENT STACK PIPING**

1 PARKING GARAGE FIFTH LEVEL PLAN
20' x 12'

- DRAWING NOTES:**
- 1. 4" COLD WATER MAINS AND 2" VENT DOWN, FINISH TO FINISH.
 - 2. 4" SANITARY WASTE, 4" DOWN AND 2" VENT DOWN, FINISH TO FINISH.
 - 3. 4" SANITARY WASTE, 4" DOWN AND 2" VENT DOWN, FINISH TO FINISH.
 - 4. CAP FOR FUTURE CONNECTION.
 - 5. FINISH TO FINISH CONNECTION.

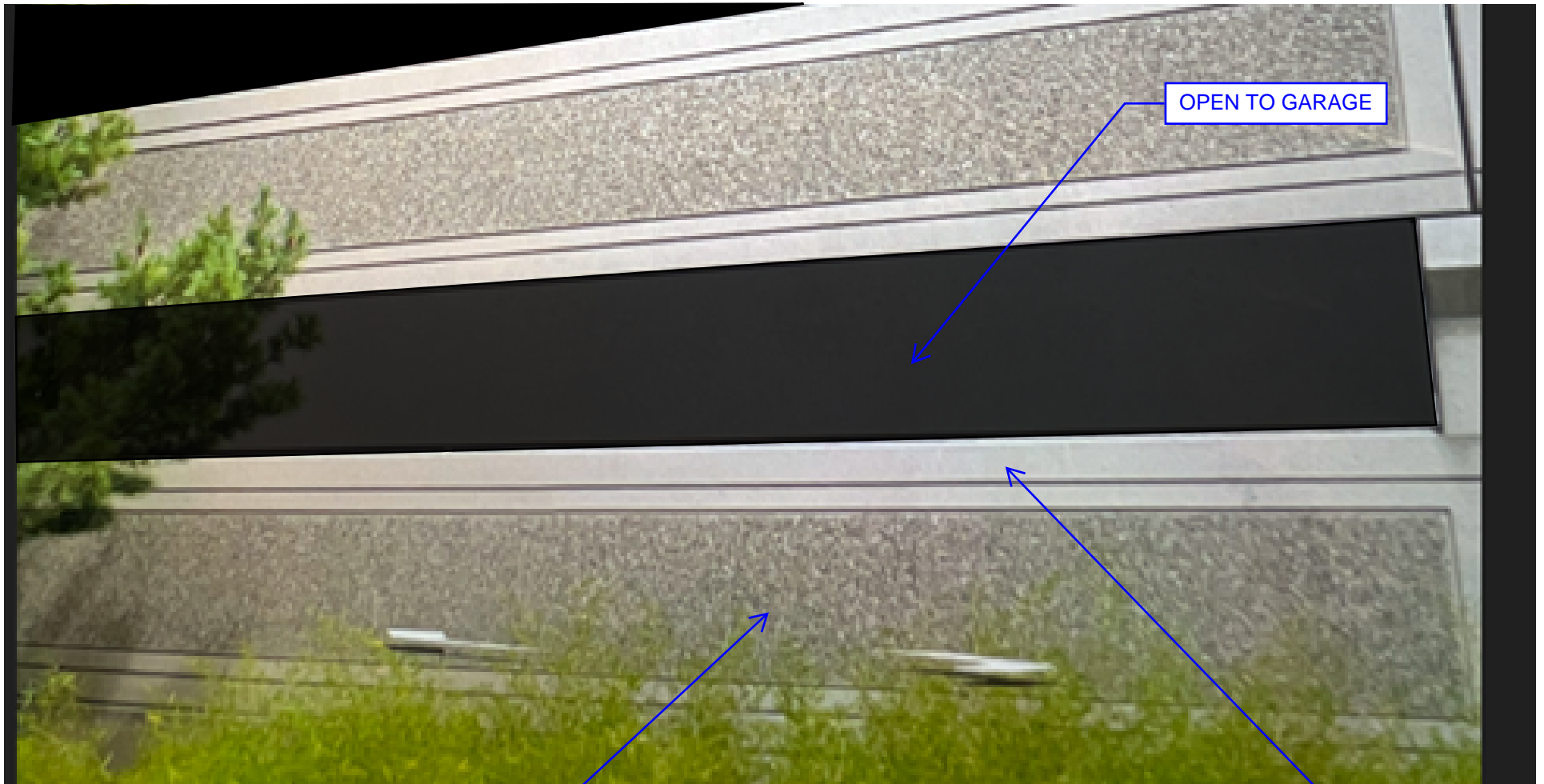
- GENERAL NOTES:**
- A. VERIFY ALL CONDITIONS AND MEASUREMENTS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND MEASUREMENTS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND MEASUREMENTS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND MEASUREMENTS IN THE FIELD.
 - B. ALL MEASUREMENTS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.



Pike

20 Loudonville Road / Albany, New York 12204 / 1.800.264.PIKE

TYPICAL PRECAST SPANDREL PANEL



OPEN TO GARAGE

EXPOSED AGGREGATE FINISH

SMOOTH FINISH