

City of Binghamton
Water Street Development Corporation
Special Meeting
Wednesday April 12, 1:00 PM
Mayor's Conference Room, City Hall, 4th floor

PROPOSED AGENDA

I. Call to order

II. Old Business

None

III. New Business:

RESOLUTION 23-7 A RESOLUTION OF THE CITY OF BINGHAMTON WATER STREET DEVELOPMENT CORPORATION TO AUTHORIZE THE PRESIDENT TO ENTER INTO AN AGREEMENT WITH CJS ARCHITECTS FOR DESIGN WORK RELATED TO THE WATER STREET PARKING GARAGE PROJECT

VI. Update on Water Street Parking Ramp Project

VII. Adjourn

City of Binghamton Water Street Development Corporation

April 12, 2023

RESOLUTION 23-7 A RESOLUTION OF THE CITY OF BINGHAMTON WATER STREET DEVELOPMENT CORPORATION TO AUTHORIZE THE PRESIDENT TO ENTER INTO AN AGREEMENT WITH CJS ARCHITECTS FOR DESIGN WORK RELATED TO THE WATER STREET PARKING GARAGE PROJECT

WHEREAS, in accordance with its procurement policy, the Water Street Development Corporation has received a proposal from CJS Architects for design work outlined in the attached proposal not to exceed \$101,520; and

WHEREAS, the attached proposal meets the criteria required by the Water Street Development Corporation

NOW, THEREFORE, the Board of Directors of the City of Binghamton Water Street Development Corporation duly convened at a special meeting, does hereby:

RESOLVE to authorize the President to execute an agreement with CJS Architects not to exceed \$101,520 according to the attached proposal and as may be approved by counsel for the Water Street Development Corporation:

I, _____, hereby certify the above resolution was approved by the City of Binghamton Water Street Development Corporation a special meeting held on April 12, 2023.

City of Binghamton Water Street Development Corporation

February 1, 2023



Mr. Chuck Shager
Comptroller - City of Binghamton
Department of Finance
Binghamton City Hall
38 Hawley Street
Binghamton, NY, 13901

RE: Boscov's Department Store
Miscellaneous Improvement Items

Dear Chuck,

CJS Architects and its team is pleased to provide you with a cost proposal for the design and documentation of various scope items as outlined and detailed in our letter dated 12/14/22.

In summary, our understanding is that the project will require services associated with:

- 1) Demolition documentation of existing structural and miscellaneous elements at the upper / roof level(s) of the northern end of the Boscov's site (i.e., parking deck, columns, beams, stairs, ramps, mechanical equipment, etc.).
- 2) The design of a new roofing assembly design (with associated drainage system) over Boscov's .
- 3) The design of new stair and ramp system with a (side-open) covered walkway connecting the third level of the new parking structure to the existing Boscov's upper-level entry.
- 4) The design of a permanent structural solution to the temporary shoring structure at the existing loading dock entry.
- 5) Miscellaneous scope items including the relocation of existing air handling units and (if deemed necessary after inspection and analysis) a new metal stair system connecting the third through roof levels.
- 6) Design and detailing of enclosure along Boscov's and Garage interface and minimal cladding solution at northeast corner of Boscov's structure.
- 7) Survey of existing pile cap locations.

Our proposed fee for services associated with the indicated effort is **\$101,520.00 (One Hundred and One Thousand Five Hundred and Twenty Dollars)**.

Fee Breakdown per Discipline

Fee Distribution by Discipline			
Architecture	51%	\$51,500	
Structural	32%	\$32,980	
MEP / FP	16%	\$16,540	
Survey	0%	\$500	
TOTAL	100%	\$101,520	

The attached proposal includes effort associated with preliminary existing site evaluation and documentation, programming, conceptual design, documentation, and construction administration.

Please note that this proposal includes minimal improvements to the existing Boscov's façade at its northeast corner (as it relates to its interface with the new parking structure). The balance of the façade along the Water Street elevation (i.e., precast panels, storefront / curtainwall, etc.) is excluded. If this should be added to the proposal, please let us know.

Also, excluded from this proposal are the following:

- Civil Engineering and Site Plan Design
- Hazardous materials reports or abatement design
- Detailed Surveys
- Geo-tech reports
- Downstream testing
- Variance submittals or approvals
- Specialty testing
- Funding source submissions
- Signage
- Permitting fees
- Reproduction costs
- FF&E Selection
- Construction Administration Site Visits
- Additional items as noted in proposal attachments
- Travel Costs (to be billed as an additional reimbursable expense).

Note: One site survey visit is included as part of the Architectural proposal, however, any additional site visits by other consultants will be billed as an additional reimbursable expense (as noted above).

Finally, the Design Team would like to request that the City of Binghamton or Boscov's provide any existing as-built documentation of the current Boscov's building as a reference for work associated with this effort.

Feel free to reach out with any questions you may have regarding this proposal.

Regards,

A handwritten signature in black ink, appearing to read 'Antonino Borgese', written in a cursive style.

Antonino Borgese, AIA, LEED AP

Attachments:

CJS Architects Task and Fee Schedule
McLaren Engineering Proposal
EC4B Proposal



The following chart indicates the breakdown of fees and anticipated tasks associated with the proposed architectural scope of work:

Architectural Task and Fee Schedule				
Task	Hours	Cost	Notes	
A. Site Survey Visit		\$2,200		
Time	16	\$2,000	8 hrs x 1 Days x 2 People = 16 Hrs x \$125/hr = \$2,000	
Car Rental		\$100	Estimated	
Gas and Tolls		\$100	Estimated	
B. Demolition Package	40	\$5,000	Documentation / Coordinated with McLaren (\$125/hr)	
C. New Set of Stairs (3rd to Roof)	60	\$5,925	45 hrs @ \$90; 15 hrs @\$125	
D. SD of New Ramp / Canopy	60	\$5,750	50 hrs @ \$90; 10 hrs @ \$125	
E. CDs of New Ramp Canopy	100	\$9,525	85 hrs @ \$90; 15 hrs @ \$125	
F. Roofing Drawings / Details	80	\$8,250	50 hrs @ \$90; 30 hrs @ \$125	
G. Garage / Boscov's Interface	50	\$4,850	40 hrs @ \$90; 10 hrs @ \$125	
H. Construction Administration	80	\$10,000	80 hrs @ \$125; No travel nor site visits included	
TOTAL	486	\$51,500	\$106/hr blended rate	

January 27, 2023

CJS Architects
755 Seneca Street
Buffalo, NY 14210

Attn: Antonino Borgese, AIA, LEED BD+C

Email: aborgese@cjsarchitects.com

Re: Binghamton – Boscov’s Access Improvements
183 Water Street
Binghamton, NY

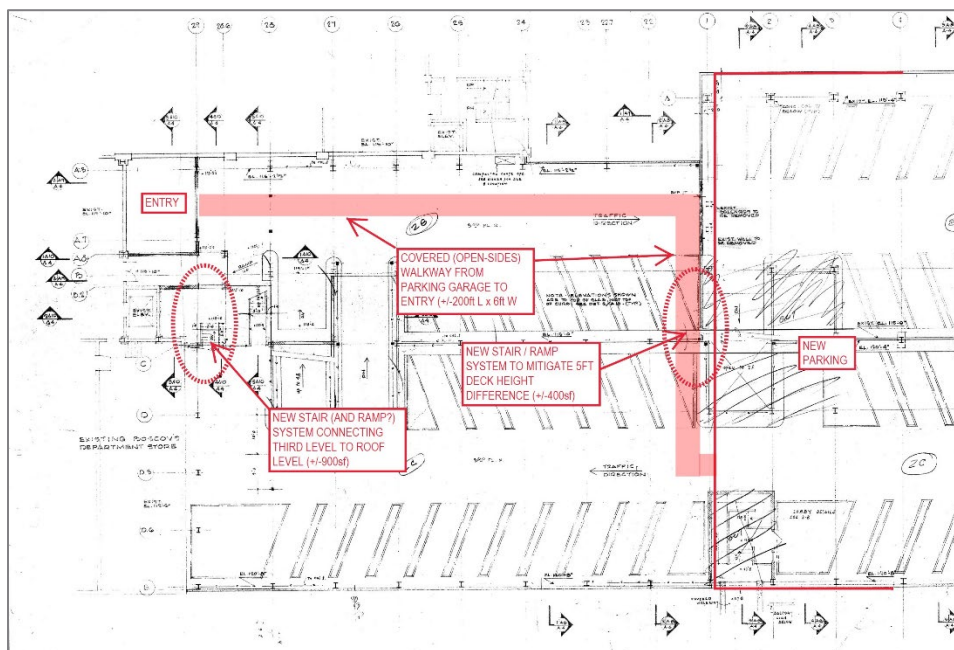
PROPOSAL NO. 210779.05 REV01

M.G. McLaren Engineering and Land Surveying, P.C. (McLaren) is pleased to provide CJS Architects (CJS Architects) this revised proposal for structural engineering services.

SCOPE

This proposal is based upon the relevant information and documents provided by CJS Architects in an email to McLaren dated January 3, 2023, along with information and responses in subsequent email coordination. The scope is formally defined in the following pdf, and visually summarized in the sketch below, both received from CJS Architects, and includes the following:

1. Cover Letter_Boscov's Scope Outline_C Shager_221214.pdf, by CJS Architects, dated December 14, 2022.



The scope described in these documents, which is the basis of our proposal, is summarized below:

A gross floor area of approximately 14,800 square feet, which includes the following:

- ✓ 8,100 square feet shall be enclosed, conditioned Retail Space
- ✓ 6,700 square feet shall be covered, non-conditioned Loading and Receiving Area

The following items are assumed to be included within this gross floor area:

- ✓ New metal stair connecting the third-floor level to the roof levels
- ✓ New pedestrian ramp connecting the third-floor level of the new parking garage to the third-floor level of the existing parking deck
- ✓ New covered walkway to access the existing Boscov's store entrance
- ✓ New structural framing for support of new AHU equipment, to be located above the third-floor store entrance
- ✓ New wall enclosures at lower vehicular ramp structure, location to be defined by the Client
- ✓ Permanent structural solution to temporary shoring structure at existing loading dock entry

The structure will be designed using Revit building information modeling software; however, the deliverable to the Owner will be paper drawings and/or portable document format (pdf) files that are extracted from the Revit model. The actual model will only be shared with the design team members for their exclusive use in preparing the overall building model. The level of development of the Revit model shall be equivalent LOD 300, as defined by BIMFORUM Level of Development Specification dated October 19, 2016 (www.bimforum.org/lod). Any structural elements that are described in our drawings, but not included in the Revit model, will be identified to CJS Architects for their information in clash detection (via Navisworks or other method selected by CJS Architects).

Project is assumed to be delivered in a design-bid-build format. No incremental bid or permit packages are assumed to be provided under this proposal.

PROFESSIONAL SERVICES

PHASE 1 – SITE INVESTIGATION

McLaren shall review all available existing structural drawings of the buildings prior to visiting the project site. If structural drawings are not made available to us prior to mobilizing field crew, we will create our own for taking notes of existing structure (including approximate size, spacing, and location of structural elements).

McLaren shall visit the project site to assess the existing condition of the building structural elements that are made accessible to us at the time of our visit. Safe access to structural elements shall be provided by the Client.

1. Visual inspection of the concrete slabs, beams, and columns for evidence of cracks and/or spalls within the concrete and/or corrosion of structural steel.

2. Gather qualitative information regarding the condition of existing structural elements.
3. Take measurements of typical column heights, slab and beam spans, and floor thickness.
4. Review balance of building for “deal breakers” as they relate to the proposed program.

There is no formal deliverable for this phase of work. The information obtained in this phase shall be used to develop drawings in the subsequent phases.

PHASE 2 – SCHEMATIC DESIGN

This phase of work includes:

1. Comparative analysis of alternate framing schemes, based upon preliminary drawings.
2. Development of a subsurface exploration plan, as required.
3. Assistance in developing details for curtain wall and facade system.
4. Assessment of appropriate construction materials and systems.
5. Preparation of written narrative describing results of items 1 through 4.
6. Attendance at a maximum of two (2) meetings to be held virtually via an online platform.

PHASE 3 – CONSTRUCTION DOCUMENTS

At the completion of Schematic Design, McLaren will proceed with design development of the chosen structural system in an effort to progress and submit construction documents. This phase will include the following:

1. Design development of the typical building frame and foundation elements and details of the chosen structural system.
2. Provision of signed and sealed structural drawings. Structural drawings shall show the primary structural components of the scope of work. Drawings will be signed and sealed by a Professional Engineer licensed in the State of New York. Level of detail shown on these drawings will be in accordance with the following standards:
 - a. Reinforced Concrete: American Concrete Institute Standard ACI 315-99: Details and Detailing of Concrete Reinforcement, Part A: Responsibilities of the Architect/Engineer.
 - b. Structural Steel: American Institute of Steel Construction Standard AISC 303-10: Code of Standard Practice for Steel Buildings and Bridges, Section 3: Design Drawings and Specifications (excluding connections).
 - c. Cold Formed Metal Framing: American Iron and Steel Institute Standard AISI S202-11: Code of Standard Practice for Cold Formed Steel Structural Framing, Section A4: Delegated Design.
3. Drawing deliverable shall include:
 - a. General Structural Notes.
 - b. Design of primary foundation elements, if required, based upon allowable bearing capacities, and recommended foundation types and specifications provided by a qualified Geotechnical Engineer.

- c. Foundation and Framing Plans showing all typical slab/floor deck systems, horizontal framing, columns, bearing walls, and significant geometric features.
 - d. Structural demolition plan.
 - e. Lateral system frame/shear wall locations on plan.
 - f. Column Schedule showing minimum sizes of columns.
 - g. Typical details for concrete work, structural steel framing, structural cold formed steel or masonry walls, and roof decking.
 - h. Documentation for atypical details.
4. Provision of one (1) progress drawing submission during the construction document phase of work.
 5. Technical specifications shall be indicated by notes on drawings. No book specification will be furnished.
 6. Review the Architect's façade (storefront or curtainwall) details and coordinate structural support for those elements.
 7. Provide a markup of the concept level structural design of light gage metal framework for large canopies and soffits, as requested by Architect. These items will be shown only on architectural drawings and will not be drafted onto structural drawings.
 8. Inclusion of structural coordination issues identified by the Architect, relative to mechanical and architectural requirements. We include a maximum of three (3) meetings to be held virtually via an online platform.

PHASE 4 – CONSTRUCTION PHASE SERVICES

1. Attendance at a maximum of one (1) site visit, as requested, during construction to observe the structural aspects of the project. Such observations assist in quality control, coordination, and conformance with drawings and specifications, but do not guarantee Contractor's performance.
2. Review of Contractor's detailed shop and erection drawings for approval.
 - a. The scope of work includes initial submittal and review of resubmittal, which incorporates our comments. Additional reviews will be performed as additional services for a negotiated fee.
 - b. Review of shop and erection drawings will be returned within an average of 14 calendar days, in accordance with the AISC Code of Standard Practice and general industry practices. Acceleration of submittal reviews may be performed, upon request, as additional services.
 - c. Note that shop and erection drawings are prepared by the Contractor as instruments to sequence their work and to facilitate fabrication and erection. Their approval by the Consulting Structural Engineer is not to be construed as a waiver of construction contract requirements or responsibilities unless the Contractor has been granted a deviation from the Contract Documents in writing.

3. Correspondence during construction, as necessary, to clarify or interpret the design intent to the Contractor in response to Contractor’s written requests for information (RFIs) up to a maximum of 10 structural RFIs. McLaren will respond to RFI’s within an average of seven (7) calendar days in accordance with general industry practices. Acceleration of RFI responses may be performed, upon request, as additional services.

SCHEDULE

We are aware of the proposed schedule identified below, and McLaren will aggressively pursue this work to assist the design team in meeting this schedule or any modification to it. In most cases, the work provided by McLaren is responsive to designs by the Architect or MEP Engineers, and accordingly, the delivery of documents is not entirely within our control.

Site Investigation – Scheduled within Four (4) weeks of Notice to Proceed
Schematic Design – Approximately Four (4) weeks, upon completion of Site Investigation
Construction Documents – Approximately Four (4) weeks, upon completion of Schematic Design
Construction Phase – To coincide with overall project construction Schedule

Substantial acceleration or delay in the design or construction work, relative to the above schedule, may require additional effort and may form the basis for additional fees.

FEE

McLaren proposes to provide the above Scope of Services for the Lump Sum Fees indicated below, plus reimbursable expenses. Project shall be invoiced monthly according to percent complete per phase.

Phase 1 – Site Investigation	\$ 4,500
Phase 2 – Schematic Design	\$ 6,100
Phase 3 – Construction Documents	\$ 16,030
Phase 4 – Construction Phase Services	\$ 6,350
Total	\$ 32,980

Any substantial change in scope or schedule shall be cause for renegotiation of this contract. The fees are based on the assumption that all components will be designed concurrently.

ADDITIONAL SERVICES

Specifically excluded from this proposal are the following services, which if requested, can be provided by McLaren as an additional service.

1. Structural design to support blue roofs, green roofs, and roofs with photovoltaic arrays.
2. Documentation for LEED certification.
3. Construction cost estimates or review of construction cost estimates by others at any phase of the project.

4. Special inspection of construction.
5. Preparation of structural remedial repair drawings.
6. Analysis of driller's logs to determine allowable bearing capacity and settlement characteristics of soils.
7. Design of temporary and/or permanent shoring system to resist earth pressure for excavation of underground structures.
8. Design of deep foundation system (piles, caissons, stone columns, etc.).
9. Design of structural glass elements, canopies, skylights, etc. other than those specifically identified in scope section above.
10. Preparation of Site Safety Plans, Underpinning, or Support of Excavation (SoE) plans.
11. Preparation of Foundation Permit Package.
12. Preparation of structural calculation package for submission to Client or permitting agency.
13. Preparation of separate Bid Packages.
14. Preparation of separate Tenant Improvement Drawing Package.
15. Design of site/civil structures beyond the perimeter of the building envelope, including but not limited to: retaining walls, ramps, stairs, landscape structures or features, or utility foundations, unless explicitly included within the scope of work above.
16. Structural design for support of signage and/or architectural elements suspended from ceiling or building façade other than those specifically defined in the scope section (above).
17. Review and approval of alternate designs proffered by the Contractor.
18. Design of connections for curtain wall or enclosure system or their connection to structure, beyond the Schematic Design assistance included in our scope of work. Detailed connections shall be submitted by the manufacturer, and review of these details is included as part of the shop drawings review.
19. Corrective revisions due to errors in fabrication or placement of structural items by the Contractor or his/her Subcontractors.
20. Value Engineering, changes to the construction documents due to Value Engineering, and response to Value Engineering comments provided by others after the issuance of the 100%DD.
21. Additional site visits during construction of structural aspects of the project. Such observations assist in quality control, coordination, and conformance with drawings and specifications, but do not guarantee Contractor's performance.
22. Review and advice on Contractor price proposals for work or the disposition of Contractor's change orders created by the Owner, Architect, or Contractor.
23. Written (narrative) description of changes to drawings, specifications, etc. when issuing drawing revisions.

24. Preparation of As-Built drawings that incorporate all field sketches, responses to RFIs, addendums, ASIs, and OSIs.
25. Review of Architectural sections of specifications which require structural input, including items such as lumber, curtain walls, skylights, masonry, earthwork, and space frames.

McLaren excludes all work related to asbestos remediation, environmental testing, permitting, and inspection, unless noted otherwise above. Also excluded are waterproofing, drainage (code section 1803 and 1804), acoustics and structure borne sound transmission (code sections 1206 and 1207), and weather protection (1405).

REIMBURSABLE EXPENSES

The following expenses shall be reimbursed at 1.1 times our cost:

1. Reproduction, mailing, and courier costs associated with the execution of this contract.
2. Travel costs for meetings and site visits.
3. Laboratory testing of soils, concrete cylinders, steel welds, or other items requiring such testing. It shall be the responsibility of the Owner to execute tests recommended by the Structural Engineer.

INFORMATION REQUIRED

It shall be incumbent upon the Architect to provide us with the following:

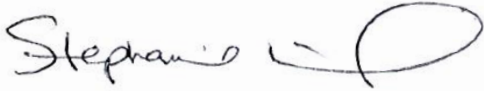
1. Title and edition of Building Code in force, and identification of any amendments in effect prior to the start of work.
2. Provision of written Owner specifications to which the structure for the building is to comply, if applicable, prior to the start of work.
3. Soil boring logs and a report from a qualified Soils Engineer recommending allowable bearing pressure, foundation type, groundwater elevations, specifications for the placement of fill, or working of soils. The report must provide all information required by IBC Section 1803 Geotechnical Investigations.
4. Architectural plans, details, and specifications.
5. Timely approval of structural plans for each phase of design. Once each phase is accepted, substantial revisions shall be cause for redesign as additional services.
6. Review of structural plans for compliance with architectural requirements.
7. A compilation of structural design requirements, if different than building code requirements.
8. Drawing format and title blocks.
9. Timely provision of drawings for all trades, including mechanical and electrical gravity loads, location of openings, and chases.

This proposal is subject to the terms and conditions which follow and shall remain valid 30 days from the date of issuance of this proposal unless it is accepted as a contract.

Should you find this proposal acceptable, kindly sign and return one (1) copy to serve as our contract.
Work shall commence upon receipt of signed contract.

Very truly yours,

The Office of
M.G. McLaren Engineering and Land Surveying, P.C.



Stephanie J. Richmond, P.E.
Senior Associate



David W. McLaren, P.E.
Vice President - Structures

SJR/DWM/dec

cc: JDB, GBK, WJM – Internal
McLaren File No. 210779.05 Rev01

ACCEPTED:

For CJS Architects
Authorized Person

Title

Date



EC4B Engineering, P.C.
15 Schoen Place, Suite 300
Pittsford, New York 14534
Tel: 585-641-7121
Fax: 585-362-4175
www.ec4b.com

January 15, 2023

CJS Architects

755 Seneca Street
Buffalo, New York 14210

ATTN: Mr. Robert Stark, AIA
Partner

RE: **Water Street – Boscov Covered Walk Additional Service**

Dear Bob:

EC4B is pleased to submit the following proposal for professional services for work associated with proposed new construction of the proposed additional services for the Boscov walkway in Binghamton, New York.

General:

Professional services will include the site review and the preparation of the contract documents required for construction work associated with the HVAC, Plumbing, Electrical, and Fire Protection for this facility.

Schedule:

EC4B will work with CJS Architects to provide the documents as required on a mutually agreed upon schedule.

Schematic Design:

This phase will include major design component preliminary selections such as HVAC system needs, modification and locations, Electrical requirements and other required physical space requirements for chases and support rooms.

Output of this phase will be a Schematic Report and associated drawings, which be the basis of design for the project.

Design Development Phase:

This phase will include more detailed design information. Weights and sizes of equipment will be provided to structural/architectural disciplines. Room level details will begin to be identified.

Construction Documents Phase:

This phase will include the final detailing of construction work. MEP trades will review architectural drawings for coordination of required chases, rooms and openings. Details and specifications will be finalized during this phase.

Bidding Phase:

EC4B will provide bidding support services for required clarifications associated with the presentation of their disciplines work on the contract documents. Required addendum will be issued.

Construction Services:

EC4B has included construction services in the design cost listed below. Construction Services will be limited to four (4) meeting attendances. These services will be provided to CJS and the Owner to facilitate the construction process. However, they do not include construction management services such as day-to-day scheduling, phasing, and/or mediation between contractors. Shop Drawing Review is included in this proposal.

Services Not Included:

- A. Printing and distribution of contract documents other than sets required periodic reviews through the design process.
- B. Hydraulic Sprinkler/Fire protection design. Design will be provided on a performance basis, and final sprinkler design will be performed by installing contractor.
- C. Building Energy Use Simulations/Grant Applications.
- D. Construction Supervision or Administration.

Key Personnel:

Project Manager:	Bruce Keeley, PE
HVAC Engineering:	Bruce Keeley, PE Chris Lewis
Plumbing Engineering:	Nikki Guilfoyle
Electrical Engineering:	Eric Strassner, PE

Water Street Apartments Boscov Covered Walkway Add Services

January 15, 2023

page 3 of 4

Fee:

Our total fee for this ADD SERVICES will be on a lump sum basis, and shall be in the amount of **Sixteen Thousand Five Hundred Forty Dollars (\$16,540)**. This is inclusive of 1 day of travel for three employees to the jobsite for initial investigation

Payment/Terms:

EC4B will invoice against the lump sum amount for services provided during all phases of the project and requests payment within Thirty (30) days from the date of our invoice.

Duration of Proposal:

This proposal and the associated schedule shall constitute an offer of service, based on the duration and dates listed previously and shall be honored for forty-five (45) days, after which scheduling and cost implications would need to be re-evaluated.

We appreciate this opportunity to propose on the above project and look forward to its success. If the preceding is acceptable, please sign the enclosed copy and return it to our office via email.

Sincerely,

EC4B

{Signed by electronic receipt from authors email}

Bruce Keeley, PE

DBK/bjs

pc: File

Acceptance For CJS Architects

Name _____

Title _____

Date _____

BID / 03.15.2023

REVISED 03.31.2023

REVISED 04.05.23

City of Binghamton: Water Street Garage

Binghamton, New York



Pike

20 Loudonville Road / Albany, New York 12204 / 1.800.264.PIKE



Contents

DRAWINGS - REVISED

ASSUMPTIONS & CLARIFICATIONS - REVISED

ALTERNATE LIST & DESCRIPTIONS

Drawings

Pike

Water St Municipal Parking Garage Contract Document List
4/5/2023

<u>DOCUMENT NUMBER</u>	<u>DOCUMENT TITLE</u>	<u>ISSUE DATE</u>	<u>REV. 1</u>	<u>REV. 2</u>	<u>REV. 3</u>
General					
A-001	SYMBOLS, ABBREVIATIONS & GEN. NOTES	1/31/2023	2/23/2023		
Code Review					
LS-00	LIFE SAFETY	Not Issued	2/23/2023		
LS-01	LIFE SAFETY PLANS	Not Issued	2/23/2023		
LS-02	LIFE SAFETY PLANS	Not Issued	2/23/2023		
LS-03	LIFE SAFETY PLANS	Not Issued	2/23/2023		
Civil					
C-010	EXISTING SITE CONDITIONS	1/31/2023	2/23/2023		
C-020	DEMOLITION PLAN	1/31/2023	2/23/2023	3/7/2023	
C-100	LAYOUT PLAN	1/31/2023	2/23/2023	3/1/2023	
C-110	GRADING PLAN	1/31/2023	2/23/2023		
C-120	UTILITY PLAN	1/31/2023	2/23/2023	3/7/2023	
C-130	EROSION AND SEDIMENT CONTROL PLAN	Not Issued	2/23/2023		
C-200	CITY OF BINGHAMTON STANDARD DETAILS	1/31/2023	2/23/2023		
C-210	STANDARD DETAILS	Not Issued	2/23/2023		
C-220	SPECIFICATIONS	Not Issued	2/23/2023		
Structural					
S-001	NOTES, DESIGN CRITERIA & SHEET INDEX	1/31/2023	2/23/2023		
S-002	NOTES, ABBREVIATIONS & SYMBOLS	1/31/2023	2/23/2023		
S-010	SPECIAL INSPECTION SCHEDULE	1/31/2023	2/23/2023		
S-020	FLOOR LOAD MAPS	1/31/2023	2/23/2023		
S-100	EXISTING FOUNDATION PLAN	Not Issued	2/23/2023		
S-101	FIRST FLOOR FOUNDATION PLAN	1/31/2023	2/23/2023		
S-101a	FIRST FLOOR FOUNDATION PLAN - AREA A	Not Issued	2/23/2023		
S-101b	FIRST FLOOR FOUNDATION PLAN - AREA B	Not Issued	2/23/2023		
S-102	SECOND FLOOR FRAMING PLAN	1/31/2023	2/23/2023		
S-103	THIRD FLOOR FRAMING PLAN	1/31/2023	2/23/2023		
S-104	FOURTH FLOOR FRAMING PLAN	1/31/2023	2/23/2023		
S-105	FIFTH FLOOR FRAMING PLAN	1/31/2023	2/23/2023		
S-106	SIXTH FLOOR FRAMING PLAN	1/31/2023	2/23/2023		
S-106a	SIXTH FLOOR FRAMING PLAN - AREA A	1/31/2023	2/23/2023		
S-106b	SIXTH FLOOR FRAMING PLAN - AREA B	1/31/2023	2/23/2023		
S-107	SEVENTH LEVEL FRAMING PLAN	1/31/2023	2/23/2023		
S-200	PRECAST COLUMN SCHEDULE	1/31/2023	2/23/2023		
S-210	PRECAST SHEAR WALL ELEVATIONS	1/31/2023	2/23/2023		
S-300	TYPICAL FOUNDATION DETAILS TYPICAL PILECAP DETAILS	1/31/2023	2/23/2023		
S-301	TYPICAL FOUNDATION DETAILS PILECAP DETAILS	1/31/2023	2/23/2023		
S-302	TYPICAL FOUNDATION DETAILS PILECAP DETAILS	1/31/2023	2/23/2023		
S-303	TYPICAL FOUNDATION DETAILS PILECAP DETAILS	1/31/2023	2/23/2023		
S-304	PILECAP DETAILS	Not Issued	2/23/2023		
S-320	TYPICAL DETAILS	1/31/2023	2/23/2023		
S-321	TYPICAL DETAILS	1/31/2023	2/23/2023		
S-322	TYPICAL DETAILS	1/31/2023	2/23/2023		
S-323	TYPICAL DETAILS	1/31/2023	2/23/2023		
Architectural					
A-101	FIRST FLOOR PLAN	1/31/2023	2/23/2023	3/1/2023	
A-102	SECOND FLOOR PLAN	1/31/2023	2/23/2023		
A-103	THIRD FLOOR PLAN	1/31/2023	2/23/2023		
A-104	FOURTH FLOOR PLAN	1/31/2023	2/23/2023		
A-105	FIFTH FLOOR PLAN	1/31/2023	2/23/2023		
A-106	SIXTH FLOOR PLAN	1/31/2023	DELETED		
A-107	SEVENTH FLOOR PLAN	1/31/2023	DELETED		
A-108	EIGHTH FLOOR PLAN	1/31/2023	DELETED		



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General					
A-109	NINETH FLOOR PLAN	1/31/2023	DELETED		
A-110	TENTH FLOOR PLAN	1/31/2023	DELETED		
A-111	ROOF PLAN	1/31/2023	DELETED		
A-200	EXTERIOR ELEVATIONS	1/31/2023	2/23/2023	3/1/2023	
A-201	EXTERIOR ELEVATIONS	1/31/2023	2/23/2023	3/1/2023	
A-250	BUILDING SECTIONS	1/31/2023	DELETED		
A-251	BUILDING SECTIONS	1/31/2023	DELETED		
A-300	ENLARGED FLOOR PLANS	1/31/2023	2/23/2023	3/1/2023	
A-401	FIRST FLOOR REFLECTED CEILING PLAN FIRST & SECOND FLOOR REFLECT. CEILING PLAN	1/31/2023	2/23/2023		
A-402	SECOND FLOOR REFLECTED CEILING PLAN THIRD & FOURTH FLOOR REFLECT. CEILING PLAN	1/31/2023	2/23/2023		
A-403	THIRD FLOOR REFLECTED CEILING PLAN	1/31/2023	DELETED		
A-404	FOURTH FLOOR REFLECTED CEILING PLAN	1/31/2023	DELETED		
A-405	FIFTH FLOOR REFLECTED CEILING PLAN	1/31/2023	DELETED		
A-410	ENLARGED REFLECTED CEILING PLAN	1/31/2023	DELETED		
A-500	VERT. CIRC. NORTH STAIR/ELEV.	1/31/2023	2/23/2023		
A-501	VERTICAL CIRCULATION SOUTH STAIR/ELEV.	1/31/2023	2/23/2023		
A-502	VERTICAL CIRCULATION SOUTH ELEV. & MAINT. STAIR	1/31/2023	2/23/2023		
A-503	MISC. STAIRS	Not Issued	2/23/2023		
A-510	VERTICAL CIRCULATION SECTIONS	1/31/2023	2/23/2023		
A-511	VERTICAL CIRCULATION SECTIONS	1/31/2023	2/23/2023		
A-600	WALL SECTIONS	1/31/2023	2/23/2023		
A-601	WALL SECTIONS	1/31/2023	2/23/2023		
A-602	WALL SECTIONS	Not Issued	2/23/2023		
A-700	ENLARGED PLANS & DETAILS	Not Issued	2/23/2023		
A-801	DOOR SCHEDULE	Not Issued	2/23/2023		
A-803	DOOR TYPES & STOREFRONT ELEVATIONS AND DETAILS	1/31/2023	DELETED		
Parking					
PK-101	FIRST FLOOR PARKING PLAN	Not Issued	2/23/2023		
PK-102	SECOND FLOOR PARKING PLAN	Not Issued	2/23/2023		
PK-103	THRID FLOOR PARKING PLAN	Not Issued	2/23/2023		
PK-104	FOURTH FLOOR PARKING PLAN	Not Issued	2/23/2023		
PK-105	FIFTH FLOOR PARKING PLAN	Not Issued	2/23/2023		
PK-200	DETAILS	Not Issued	2/23/2023		
Architectural Parking					
AP-102	ARCHITECTURAL PARKING PLANS	Not Issued	2/23/2023		
AP-102	ARCHITECTURAL PARKING PLANS	Not Issued	2/23/2023		
AP-103	ARCHITECTURAL PARKING PLANS	Not Issued	2/23/2023		
AP-201	SIGNAGE DETAILS - ARCHITECTURAL PARKING	Not Issued	2/23/2023		
AP-202	SIGNAGE DETAILS - ARCHITECTURAL PARKING	Not Issued	2/23/2023		
AP-203	SIGNAGE DETAILS - ARCHITECTURAL PARKING	Not Issued	2/23/2023		
AP-251	SIGN MOUNTING DETAILS - ARCHITECTURAL PARKING	Not Issued	2/23/2023		
Mechanical					
M-001	LEGENDS & ABBREVIATIONS	1/31/2023	2/23/2023		
M004	FIRST FLOOR DEMOLITION PLAN - PLUMBING & PIPING	1/31/2023	DELETED		
M-111	PARKING GARAGE FIRST LEVEL PLAN	Not Issued	2/23/2023		
Plumbing					
P-001	LEGENDS & GENERAL NOTES	1/31/2023	2/23/2023		
P-110	FOUNDATION PLAN	1/31/2023	2/23/2023	3/8/2023	
P-111	PARKING GARAGE FIRST LEVEL PLAN	1/31/2023	2/23/2023	3/8/2023	
P-112	PARKING GARAGE SECOND LEVEL PLAN	1/31/2023	2/23/2023		
P-113	PARKING GARAGE THIRD LEVEL PLAN	1/31/2023	2/23/2023		
P-114	PARKING GARAGE FOURTH LEVEL PLAN	1/31/2023	2/23/2023		
P-115	PARKING GARAGE FIFTH LEVEL PLAN	1/31/2023	2/23/2023		
P-401	SCHEDULES	1/31/2023	2/23/2023		
P-501	DETAILS	1/31/2023	2/23/2023	3/8/2023	

Fire Protection



Pike Construction Services

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General					
FP-001	LEGENDS & GENERAL NOTES	1/31/2023	2/23/2023	3/8/2023	
FP-111	PARKING GARAGE FIRST LEVEL PLAN	1/31/2023	2/23/2023	3/8/2023	
FP-112	PARKING GARAGE SECOND LEVEL PLAN	1/31/2023	2/23/2023	3/8/2023	
FP-113	PARKING GARAGE THIRD LEVEL PLAN	1/31/2023	2/23/2023		
FP-114	PARKING GARAGE FOURTH LEVEL PLAN	1/31/2023	2/23/2023	3/8/2023	
FP-115	PARKING GARAGE FIFTH LEVEL PLAN	1/31/2023	2/23/2023	3/8/2023	
FP-301	RISER DIAGRAM	1/31/2023	2/23/2023	3/8/2023	
FP-501	DETAILS	1/31/2023	2/23/2023	3/8/2023	
Electrical					
E-001	LEGENDS & ABBREVIATIONS	1/31/2023	2/23/2023		
E-100	PARKING GARAGE FIRST LEVEL PLAN CONDUIT ROUTING	1/31/2023	2/23/2023		
E-111	PARKING GARAGE FIRST LEVEL PLAN	1/31/2023	2/23/2023		
E-112	PARKING GARAGE SECOND LEVEL PLAN	1/31/2023	2/23/2023		
E-113	PARKING GARAGE THIRD LEVEL PLAN	1/31/2023	2/23/2023		
E-114	PARKING GARAGE FOURTH LEVEL PLAN	1/31/2023	2/23/2023		
E-115	PARKING GARAGE FIFTH LEVEL PLAN	1/31/2023	2/23/2023		
E-116	PARKING GARAGE SIXTH LEVEL PLAN	Not Issued	DELETED		
E-301	ONE-LINE DIAGRAM	1/31/2023	2/23/2023		
E-401	SCHEDULES	1/31/2023	2/23/2023		
E-402	PANELBOARD SCHEDULES	1/31/2023	2/23/2023		
E-403	PANELBOARD SCHEDULES	Not Issued	2/23/2023		
E-501	DETAILS	1/31/2023	2/23/2023		
E-502	DETAILS	1/31/2023	2/23/2023		
E-503	DETAILS	Not Issued	2/23/2023		
E-504	DETAILS	Not Issued	2/23/2023		

SUPPLEMENTAL DRAWINGS

PRELIMINARY FOUNDATION CONCEPT (S-100 & S-101)	01/27/23	
FOUNDATION PLAN FROM WATER STREET 1968 - REFERENCE ONLY	03/03/23	
GRID LINE G1 - PROGRESS PRINT NOTE FOR CONSTRUCTION		03/31/23

SPECIFICATIONS

DIVISION 03 - CONCRETE		
03 30 00	CAST-IN-PLACE CONCRETE	Not Issued 02/23/23
03 41 00	PRECAST STRUCTURAL CONCRETE	Not Issued 02/23/23
DIVISION 04 - MASONRY		
04 22 00	CONCRETE UNIT MASONRY	Not Issued 02/23/23
DIVISION 05 - METALS		
05 12 00	STRUCTURAL STEEL FRAMING	Not Issued 02/23/23
05 31 00	STEEL DECKING	Not Issued 02/23/23
05 40 00	COLD-FORMED METAL FRAMING	Not Issued 02/23/23
05 52 13	PIPE AND TUBE RAILINGS	Not Issued 02/23/23
DIVISION 06 - WOOD, PLASTICS, and COMPOSITES		
06 10 00	ROUGH CARPENTRY	Not Issued 02/23/23
06 16 00	SHEATHING	Not Issued 02/23/23
DIVISION 07 - THERMAL and MOISTURE PROTECTION		
07 14 16	COLD FLUID-APPLIED WATERPROOFING	Not Issued 02/23/23
07 18 00	TRAFFIC COATINGS	Not Issued 02/23/23
07 27 26	FLUID-APPLIED MEMBRANE AIR BARRIERS	Not Issued 02/23/23
07 42 43.13	WOOD VENEER LAMINATE WALL SIDING	Not Issued 02/23/23
07 53 23	ETHYLENE-PROPYLENE-DIENE-MONOMER (EPDM) ROOFING	Not Issued 02/23/23



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General					
07 62 00	SHEET METAL FLASHING AND TRIM	Not Issued	02/23/23		
07 71 00	ROOF SPECIALTIES	Not Issued	02/23/23		
07 84 43	JOINT FIRESTOPPING	Not Issued	02/23/23		
07 92 00	JOINT SEALANTS	Not Issued	Not Issued	2/23/2023	
DIVISION 08 - OPENINGS					
08 11 13	HOLLOW METAL DOORS AND FRAMES	Not Issued	02/23/23		
08 33 23	OVERHEAD COILING DOORS	Not Issued	02/23/23		
08 33 44	OVERHEAD COILING FIRE CURTAINS	Not Issued	02/23/23		
08 41 13	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS	Not Issued	02/23/23		
08 71 11	DOOR HARDWARE (DESCRIPTIVE SPECIFICATION)	Not Issued	02/23/23		
08 80 00	GLAZING	Not Issued	02/23/23		
08 88 13	FIRE-RATED GLAZING	Not Issued	02/23/23		
08 91 19	FIXED LOUVERS	Not Issued	02/23/23		
DIVISION 09 - FINISHES					
09 21 16.23	GYPSUM BOARD SHAFT WALL ASSEMBLIES	Not Issued	02/23/23		
09 96 00	HIGH-PERFORMANCE COATINGS	Not Issued	02/23/23		
DIVISION 10 - SPECIALTIES					
10 14 19	DIMENSIONAL LETTER SIGNAGE	Not Issued	02/23/23		
10 14 23	SIGNAGE	Not Issued	02/23/23		
DIVISION 14 - CONVEYING EQUIPMENT					
14 21 00	ELECTRIC TRACTION ELEVATORS	Not Issued	02/23/23		
DIVISION 22 - PLUMBING					
22 01 00	BASIC PLUMBING AND FIRE PROTECTION REQUIREMENTS	Not Issued	02/23/23		
22 01 50	EXCAVATION AND BACKFILL	Not Issued	02/23/23		
22 01 90	ELECTRIC WIRING	Not Issued	02/23/23		
22 06 00	PIPING SYSTEMS AND ACCESSORIES / INTERIOR BUILDING PIPING	Not Issued	02/23/23		
22 10 00	VALVES	Not Issued	02/23/23		
22 16 00	PUMPS	Not Issued	02/23/23		
22 19 00	PLUMBING IDENTIFICATION	Not Issued	02/23/23		
22 25 00	INSULATION	Not Issued	02/23/23		
22 33 00	DRY FIRE SPRINKLER SYSTEMS	Not Issued	02/23/23		
22 37 50	FIRE STANDPIPE SYSTEMS	Not Issued	02/23/23		
22 41 00	WATER SUPPLY	Not Issued	02/23/23		
22 41 10	WASTE WATER SYSTEMS	Not Issued	02/23/23		
22 45 00	EQUIPMENT	Not Issued	02/23/23		
DIVISION 23 - HEATING, VENTILATING, and AIR CONDITIONING (HVAC)					
23 01 00	BASIC MECHANICAL REQUIREMENTS	Not Issued	02/23/23		
23 01 80	MOTORS	Not Issued	02/23/23		
23 06 00	PIPING SYSTEMS AND ACCESSORIES	Not Issued	02/23/23		
23 25 00	INSULATION	Not Issued	02/23/23		
23 78 10	WALL/CEILING MOUNTED ROOM AIR CONDITIONING UNIT (AIR COOLED	Not Issued	02/23/23		
23 83 20	UNIT HEATERS AND CABINET UNIT HEATERS (HYDRONIC AND ELECTRIC)	Not Issued	02/23/23		
23 89 00	SHEET METAL AND DUCTWORK ACCESSORIES CONSTRUCTION	Not Issued	02/23/23		
23 94 50	LOUVERS AND PENTHOUSES	Not Issued	02/23/23		
23 99 00	ADJUSTING AND BALANCING	Not Issued	02/23/23		
DIVISION 26 - ELECTRICAL					
26 01 00	BASIC ELECTRICAL REQUIREMENTS	Not Issued	02/23/23		
26 01 10	GENERAL PROVISIONS	Not Issued	02/23/23		
26 01 50	WORK INCLUDED	Not Issued	02/23/23		
26 10 00	BASIC MATERIALS AND METHODS	Not Issued	02/23/23		



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General					
26 11 00	RACEWAYS	Not Issued	02/23/23		
26 12 00	CONDUCTORS	Not Issued	02/23/23		
26 12 40	MEDIUM VOLTAGE CABLE	Not Issued	02/23/23		
26 14 00	WIRING DEVICES	Not Issued	02/23/23		
26 32 10	DRY TYPE TRANSFORMERS	Not Issued	02/23/23		
26 42 00	SERVICE ENTRANCE	Not Issued	02/23/23		
26 45 00	GROUNDING	Not Issued	02/23/23		
26 47 00	LOW VOLTAGE POWER DISTRIBUTION EQUIPMENT	Not Issued	02/23/23		
26 48 50	MOTOR STARTERS AND CONTROL DEVICES	Not Issued	02/23/23		
26 50 00	LIGHTING	Not Issued	02/23/23		
26 62 00	POWER GENERATION	Not Issued	02/23/23		
26 72 20	POINT ADDRESSABLE FIRE ALARM SYSTEM	Not Issued	02/23/23		
DIVISION 31 - EARTHWORK					
31 62 16	STEEL PILES	Not Issued	02/23/23		
DIVISION 32 - EXTERIOR IMPROVEMENTS					
32 31 13	CHAIN LINK FENCES AND GATES	Not Issued	02/23/23		
32 33 00	SITE FURNISHINGS	Not Issued	02/23/23		

SUPPLEMENT SPECIFICATIONS

MEMO - 90% PROGRESS DRAWINGS GAPS LIST	01/27/23
BINGHAMTON WATER STREET GEOTECHNICAL REPORT	08/24/22

PIKE DOCUMENTS

1	INVITATION TO BID	02/06/23	02/23/23		
2	INSTRUCTION TO BIDDERS	02/06/23			
3	GENERAL REQUIREMENTS	02/06/23			
4	ALTERNATE LIST AND DESCRIPTIONS				
5	CONTRACT DOCUMENTS LIST	02/06/23	02/23/23	03/03/23	04/04/23
6	PREVAILING WAGE SCHEDULE PRC# 2023000912	01/24/23			
7	INSURANCE REQUIREMENTS	-			
8	SAMPLE COI CERTIFICATE	-			
9	TEXTURA INFORMATION	-			
10	SAMPLE MASTER SUBCONTRACT	-			
11	SAMPLE EXHIBIT AA WORK ORDER SUBCONTRACT	-			
12	SAMPLE BOND FORMS	-			
14	WATER ST. MILESTONE SCHEDULE				



Assumptions & Clarifications

Pike

Assumptions & Clarifications

Schedule

- Construction milestone schedule is attached – *has not been updated from original proposal*
- *A letter of Intent for this lump sum proposal is good until April 07, 2023.*

General

- *Related to the stairs and elevators, the structure will consist of 2 elevator shafts and 2 stair shafts. Stairs will be provided in each stair shaft to service the garage levels. Only 1 elevator, servicing the garage levels will be provided. The installation of the 1 remaining elevator is future work and not included in the cost of work. This elevator has been sized for 10 floors.*
- Proposal is based of CJS Architects Construction Documents dated 2-23-23. Please see the attached drawing list. *Changes in design and/or scope of work are subject to repricing*
- No Boscov work is included in this proposal
- Prevailing wage rates are included
- Builders Risk Insurance is included
- Performance and payment bond is included
- *Final foundation design is pending. A progress drawing was provided by McLaren on 4-3-23 and is attached. We feel comfortable that we have covered the cost associated with the current foundation design concept.*

Div 02 Existing Conditions

- *None*

Div 03 Concrete

- Concrete slab on grade is per architectural floor plan

Div 03 Precast

- *Standard gray color for precast concrete with a picture framed recessed exposed aggregate finish on the spandrel panels. Additional options can be reviewed with the team for the same value of work*
- Utilizing precast washes
- Drawings show snow piling location. We do not recommend snow piling in these areas that are shown
- We have assumed the use of the existing Binghamton Plaza Shopping Mall parking lot area for staging precast pieces. We have included a lease allowance of \$30,000

Div 04 Masonry

- Ground face CMU figured at “public” locations and is assumed to be color group 1

Div 05 Metal

- Steel to be supplied bare and ready to receive fireproofing



Date: April 5, 2023

Project: Water Street Parking Garage

Page 2 of 5

- *Due to the size of several large steel members (i.e. W40, W44, etc.) there are fabrication requirements that may limit the roll dates. We have included \$66,400 within the base bid for early procurement of 3 W44 beams.*
- Railing systems to be fabricated by Steel Fabricator and galvanized

Div 06 Wood and Plastics

- None

Div 07 Thermal & Moisture Protection

- Waterproofing assumed at (2) elevator pits
- Parking structure to be independent of the Boscov building. An opening will be provided in the spandrel panels on the 3rd floor for future walkway

Div 08 Doors & Windows

- Overhead fire curtain is based on the use of FireKing 635 manufactured by Overhead Door Corporation

Div 09 Finishes

- Painting includes accent walls on each floor, HM doors and frames and bollards
- Temporary enclosures at elevator shafts are wall type S2

Div 10 Specialties

- Some signage is shown to be attached directly to the beam portion of the precast tees. This attachment location needs to be reviewed with the precast manufacturer prior to installation. Attachment location subject to change

Div 11 Equipment

- We have included an allowance of \$157,000 for parking equipment.

Div 13 Special Construction

- None

Div 21 Fire Protection

- None

Div 22 Plumbing

- We have included 1 internal hose bib per parking level (5 total)

Div 26/27/28 Electrical/Communications/Security

- Rigid conduit and cabling for future apartments is included in the 6th floor apartments breakout in lieu of specified bus duct
- *Exterior colored accent lighting is included on every other column along Water and Henry Street*

Div 31/32/33 Earthwork/Exterior Improvements/Utilities

- We have included the reuse of existing onsite soils for fills and backfill



- Item 4 gravel used for all subbases
- We have not included any underground demolition beyond what is shown on drawing S100
- Landscaping and site furnishings have not been included
- Asphalt at 1st floor slab as shown on Architectural and Civil documents, not structural

Div 31 Steel Piles

- We have included 2ea Static Load Tests (Quick Test Method), one on new and one on existing
- We have included 2ea Dynamic Load Tests, one on new and one on existing
- We have included 2ea Lateral Load Tests, one on new and one on existing
- Pile condition – We have not included cutting off existing piles as discussed in the geotechnical report. We believe concrete can be removed without damage to piles

Exclusions

General

- Sales tax
- All investigative testing
- All 3rd Party Testing during construction
- Vibration controls
- Hazardous material removal or disposal
- Building permit/fees
- Flood insurance
- Architectural, structural & civil engineering fees
- M/WBE and/or local participation labor requirements
- Utility company fees associated with relocations, installation and energy usage/consumption by Owner, inclusive of temporary electrical and gas usage
- SWPPP and associated inspections
- Offsite contractor parking, any costs associated with parking is assumed to be absorbed by The City. We assume 50 spaces will be required
- No snow melt/ snow management systems have been included. Owner requirements and discussions need to take place prior to design finalization

Div 02 Existing Conditions

- Structural modification to existing building

Div 03 Concrete

- Waterproofing under ground floor

Div 03 Precast

- *Precast bumpers are no longer required by code. The spandrel panel is designed to accommodate impact load*

Div 05 Metals



Date: April 5, 2023

Project: Water Street Parking Garage

Page 4 of 5

- None

Div 06 Wood and Plastics

- None

Div 07 Thermal & Moisture Protection

- Dampproofing/waterproofing of foundations
- Fireproofing of structural steel at underside of 6th floor deck

Div 08 Doors & Windows

- Automatic operators at storefront and HM doors

Div 09 Finishes

- Painting of underside of precast per note 3 on Reflected Ceiling Plans
- Painting of railings, railings to are galvanized
- Painting of CMU walls
- Fit out of Lobby/Trash/compactor/etc. space
- Finished flooring materials

Div 10 Specialties

- None

Div 11 Equipment

- Pay on foot machine

Div 12 Furnishings

- None

Div 13 Special Construction

- None

Div 22 Plumbing

- No insulation or heat trace on domestic water to interior/exterior hose bibs. To be drained in fall

Div 23 HVAC

- None

Div 26/27/28 Electrical/Communications/Security

- Power Company Charges
- Vehicle Charging Stations by Owner. Conduit is included in our price only
- Bus duct for apartments (conduit and cabling is provided in lieu of)

Div 31/32/33 Earthwork/Exterior Improvements/Utilities

- Gas service
- Site lighting and electric service
- Removal and replacement of unsuitable soils



- Heavy duty dewatering, foundation drains, and under slab drains have not been included as the project does not reside in flood zone
- Landscaping and site furnishings

Div 31 Steel Piles

- *Replacement of existing piles deemed to be unserviceable*

Apartment Associated Construction Costs

- If any work associated with the Apartment construction is changed or deleted, then notification to the Contractor needs to be made at time of Contract Award.
- *The 6th floor podium has been provided as an add alternate. This alternate must be accepted by 4/28/23 for pricing to hold*
 - *Summary Alternate scope of work for 6th floor podium*
 - *Extension of precast columns to support structural framing as shown on S-106a and S-106b*
 - *Addition of structural steel framing and decking and associated embeds as shown on S-106a and S-106b*
 - *Placement of the concrete slab on deck and associated reinforcing as shown on S-106a and S-106b*
 - *Installation of the electrical service conduit and cabling that would service the apartments as well as the empty data conduits from 1st floor to 6th floor as shown on E-100, E-112 through E-115*
 - *Installation of 5th floor deck mounted lighting as shown on E-115. The intent would be to replace this lighting with pole mounted fixtures*
 - *Installation of the 5th floor fire protection system per as shown on FP115*
 - *Installation of the fire protection service to future apartments on shown on FP301*
 - *Installation of the domestic water, storm and sanitary/waste and vent piping as shown on P111 through P115*



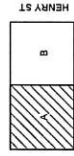
Alternate List & Descriptions

Pike

04 – Alternate List and Description

- **Add Alternate - 6th Floor Podium**
 - *Alternate Description:*
 - *Extension of precast columns to support structural framing as shown on S-106a and S-106b*
 - *Addition of structural steel framing and decking and associated embeds as shown on S-106a and S-106b*
 - *Placement of the concrete slab on deck and associated reinforcing as shown on S-106a and S-106b*
 - *Installation of the electrical service conduit and cabling that would service the apartments as well as the empty data conduits from 1st floor to 6th floor as shown on E-100, E-112 through E-115*
 - *Installation of 5TH floor deck mounted lighting as shown on E-115. The intent would be to replace this lighting with pole mounted fixtures*
 - *Installation of the 5th floor fire protection system per as shown on FP115*
 - *Installation of the fire protection service to future apartments on shown on FP301*
 - *Installation of the domestic water, storm and sanitary/waste and vent piping as shown on P111 through P115*





CITY OF BINGHAMTON
**WATER ST.
PARKING
STRUCTURE**
BINGHAMTON, NY

REV #	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	12/22/23

JOB NO.	13079
SCALE	1/8" = 1'-0"
ISSUE DATE	
DRAWN BY	BP
CHECKED BY	SR

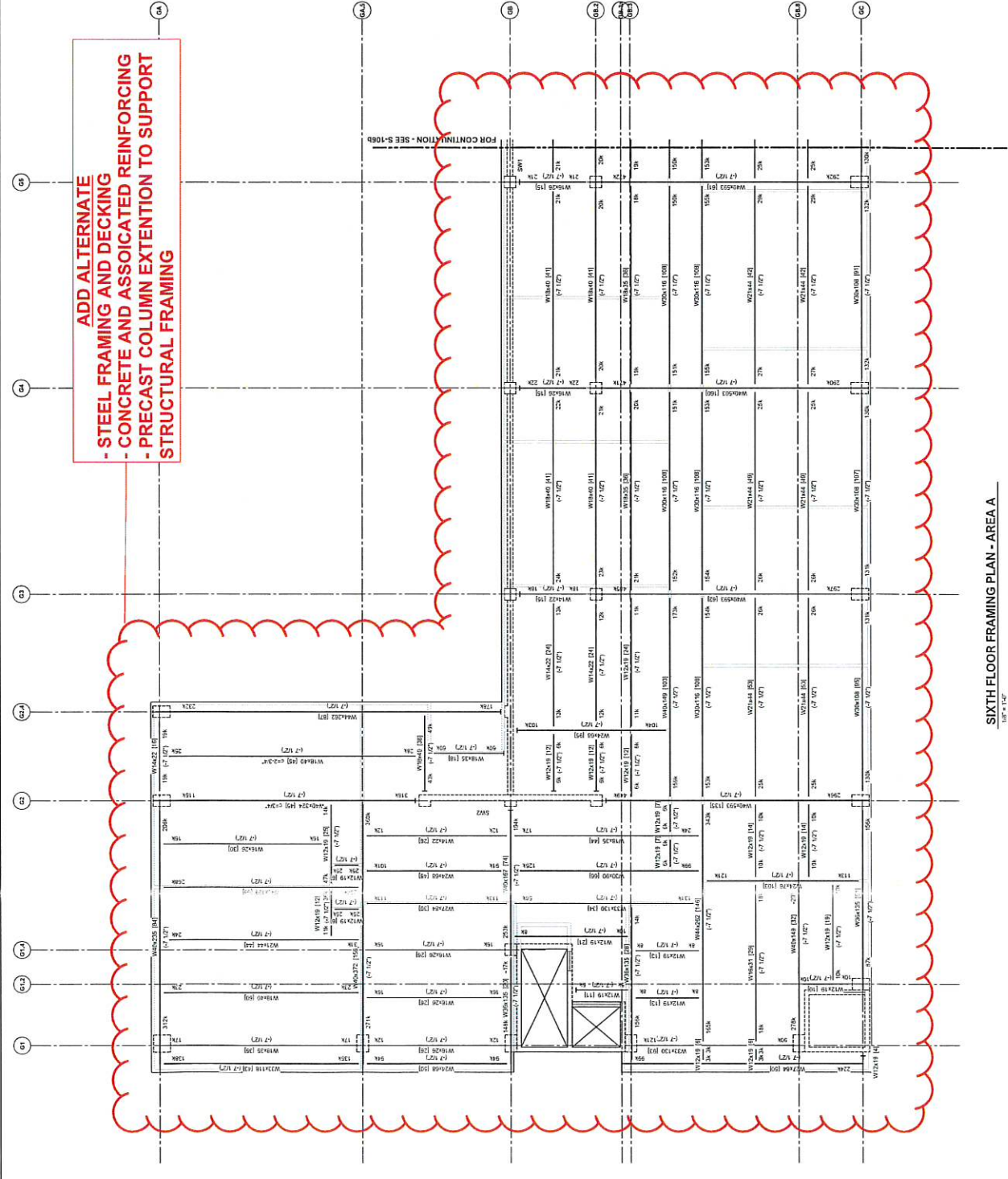
DRAWING TITLE
SIXTH FLOOR FRAMING PLAN - AREA A

S-106a

NOTES:

- TOP OF STRUCTURAL SLAB DATUM ELEVATION = 895.58
- TYPICAL STRUCTURAL SLAB SHALL BE 4" CT CONCRETE REINFORCED WITH #4 @ 18" O.C. W/ #4 WELDED WIRE MESH. REINFORCEMENT SHALL BE PLACED WITH #4 WELDED WIRE MESH. REINFORCEMENT SHALL BE PLACED WITH #4 WELDED WIRE MESH. REINFORCEMENT SHALL BE PLACED WITH #4 WELDED WIRE MESH. REINFORCEMENT SHALL BE PLACED WITH #4 WELDED WIRE MESH.
1. () INDICATES TOP OF STEEL ELEVATION RELATIVE TO THE DATUM ELEVATION IN NOTE 1.
1. () INDICATES THE QUANTITY OF 3/4" x 4" SHEAR STUD PINS (SEE NOTE 2) UNLESS OTHERWISE NOTED.
1. () INDICATES UPWARD CURB AT MIDSPAN OF BEAM IF SPECIFIED.
1. () INDICATES VERTICAL BEAM END REACTION FOR DESIGN OF SIMPLE SHEAR CONNECTIONS.
1. () INDICATES MOMENT CONNECTION TO BE DESIGNED FOR THE MOMENT (P+HS) INDICATED.
1. () INDICATES MOMENT CONNECTION TO BE DESIGNED FOR THE MOMENT (P+HS) INDICATED.
1. () INDICATES VERTICAL BRACING BELOW. REFER TO BRACED FRAME ELEVATIONS.
1. () INDICATES EMBEDDED FLATE CONNECTION. SEE TYPICAL EMBEDDED FLATE CONNECTION DETAIL.
1. () INDICATES TYPICAL GULF STREAM BEAM SHEAR CONNECTION DETAIL.
- COORDINATE SIZE AND LOCATION OF ALL FLOOR FINISHES TO THE ARCHITECTURAL DRAWINGS. MECHANICAL ELECTRICAL AND PLUMBING (MEP) SHALL BE REINFORCED OR SUPPORTED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS UNLESS OTHERWISE INDICATED.
- FOR GENERAL NOTES, SEE S-019 FOR COLUMN SCHEDULE. SEE S-019 FOR TYPICAL DETAILS. SEE S-019 FOR TYPICAL DETAILS. SEE S-019 FOR TYPICAL DETAILS.

**ADD ALTERNATE
- STEEL FRAMING AND DECKING
- CONCRETE AND ASSOCIATED REINFORCING
- PRECAST COLUMN EXTENSION TO SUPPORT
STRUCTURAL FRAMING**



**STEEL DESIGN SHOWN FOR
PRELIMINARY PRICING ONLY.
FINAL DESIGN IS PENDING
DESIGN AUTHORIZATION FOR
RESIDENTIAL FLOORS ABOVE.**

SIXTH FLOOR FRAMING PLAN - AREA A
1/8" = 1'-0"



REF PLAN
 CITY OF BINGHAMTON
WATER ST. PARKING STRUCTURE
 BINGHAMTON, NY

REV. #	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	02/22/2023

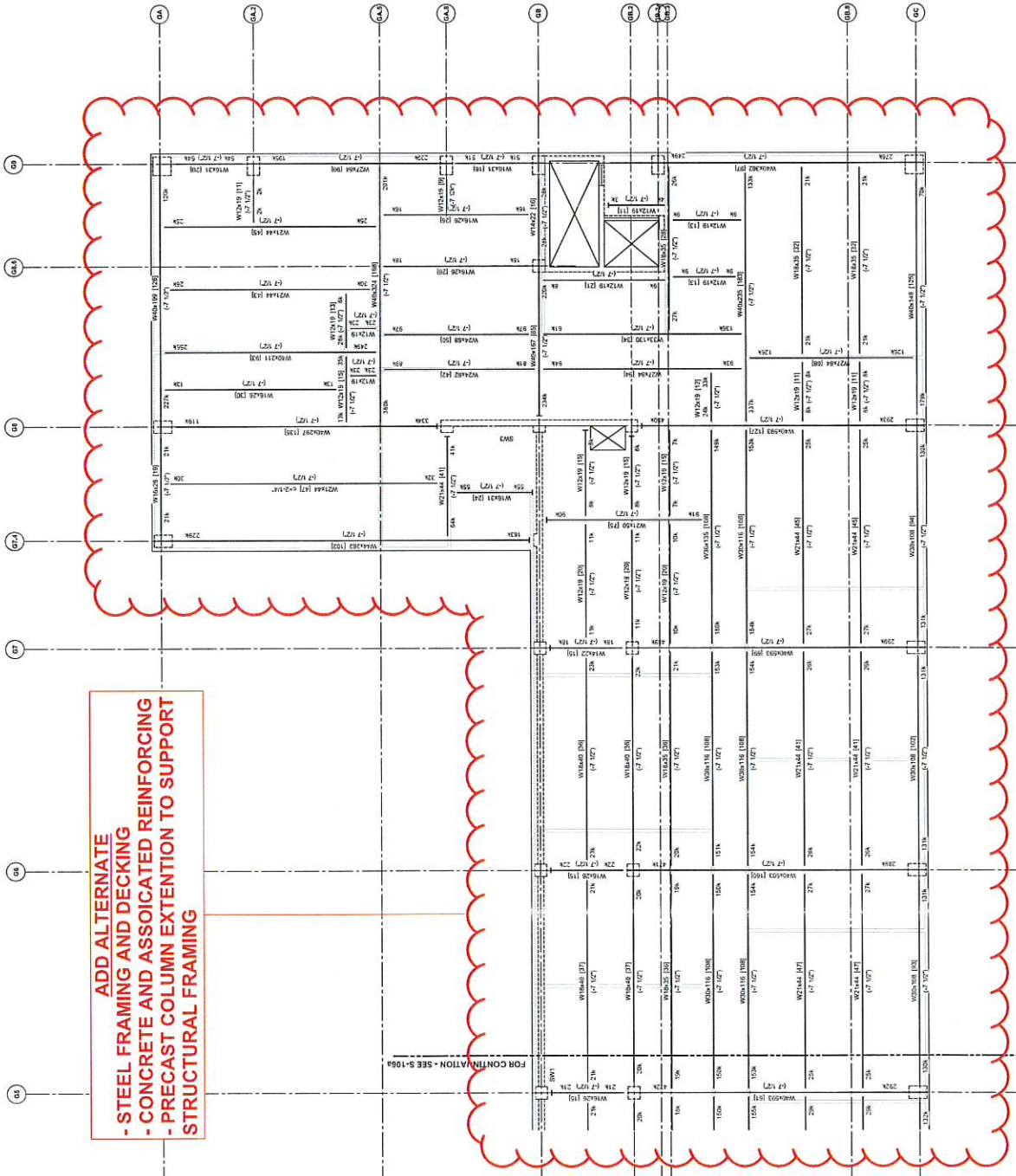
JOB NO.	210779
SCALE	1/8" = 1'-0"
ISSUE DATE	
DESIGNED BY	BE
CHECKED BY	SM

DRAWING TITLE
SIXTH FLOOR FRAMING PLAN - AREA B

S-106b

NOTES

1. ALL STRUCTURAL SLAB DATUM ELEVATION = 955.58 HAWKINS
2. TYPICAL STRUCTURAL SLAB SHALL BE 4.12" CONCRETE REINFORCED WITH #4E-W@12"X1" WELDED WIRE MESH. MINIMUM REINFORCING METAL LATCH TOTAL SLAB THICKNESS = 7.12".
3. (---) INDICATES TOP OF STEEL ELEVATION RELATIVE TO THE DATUM ELEVATION IN NOTE 1.
4. (---) INDICATES THE QUANTITY OF #4E #4E SPAN STUDD FOR FOOT UNLESS OTHERWISE NOTED. (---) INDICATES THE QUANTITY OF #4E SPAN STUDD FOR FOOT UNLESS OTHERWISE NOTED.
5. (---) INDICATES UPWARD CAMBER AT MESPAN OF BEAM IF SPECIFIED.
6. (---) INDICATES VERTICAL BEAM END REACTION FOR ALL BEAMS.
7. (---) INDICATES REACTION CONNECTION TO BE DESIGNED FOR THE MOMENT (M) VALUES INDICATED.
8. (---) INDICATES AXIAL CONNECTION TO BE DESIGNED FOR THE FORCE (P) VALUES INDICATED.
9. (---) INDICATES VERTICAL BRACING BELOW. REFER TO BRACED FRAME ELEVATIONS.
10. (---) INDICATES EMBEDDED PLATE CONNECTION.
11. (---) INDICATES FULL LENGTH STEEL BEAM OR GIRDER CONNECTION. SEE TYPICAL FULL LENGTH STEEL BEAM GIRDER CONNECTION DETAIL.
12. COORDINATE SIZE AND LOCATION OF ALL FLOOR JOISTS WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING (M.E.P.) DRAWINGS NOT SHOWN ON PLAN. PENETRATIONS SHALL BE SHOWN ON PLAN AND NOTED WITH THE TYPICAL SIZE AND LOCATION UNLESS OTHERWISE INDICATED.
13. FOR GENERAL NOTES, SEE S-031 FOR BRACING ELEVATIONS, SEE S-200 FOR TYPICAL DETAILS, SEE S-200 ON...



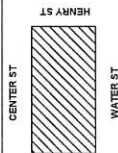
ADD ALTERNATE
 - STEEL FRAMING AND DECKING
 - CONCRETE AND ASSOCIATED REINFORCING
 - PRECAST COLUMN EXTENSION TO SUPPORT STRUCTURAL FRAMING

STEEL DESIGN SHOWN FOR PRELIMINARY PRICING ONLY. FINAL DESIGN IS PENDING DESIGN AUTHORIZATION FOR RESIDENTIAL FLOORS ABOVE.

SIXTH FLOOR FRAMING PLAN - AREA B
 1/8" = 1'-0"



100% CONSTRUCTION DOCUMENTS



**WATER STREET
PARKING GARAGE**

183 WATER STREET
BINGHAMTON, NY

REV. #	DESCRIPTION	DATE

JOB NO.	221160
SCALE	AS NOTED
ISSUE DATE	02/20/22
DRAWN BY	RS
CHECKED BY	ES

DRAWING TITLE: **PARKING GARAGE FIRST LEVEL PLAN - CONDUIT ROUTING**

DATE: 02/20/22

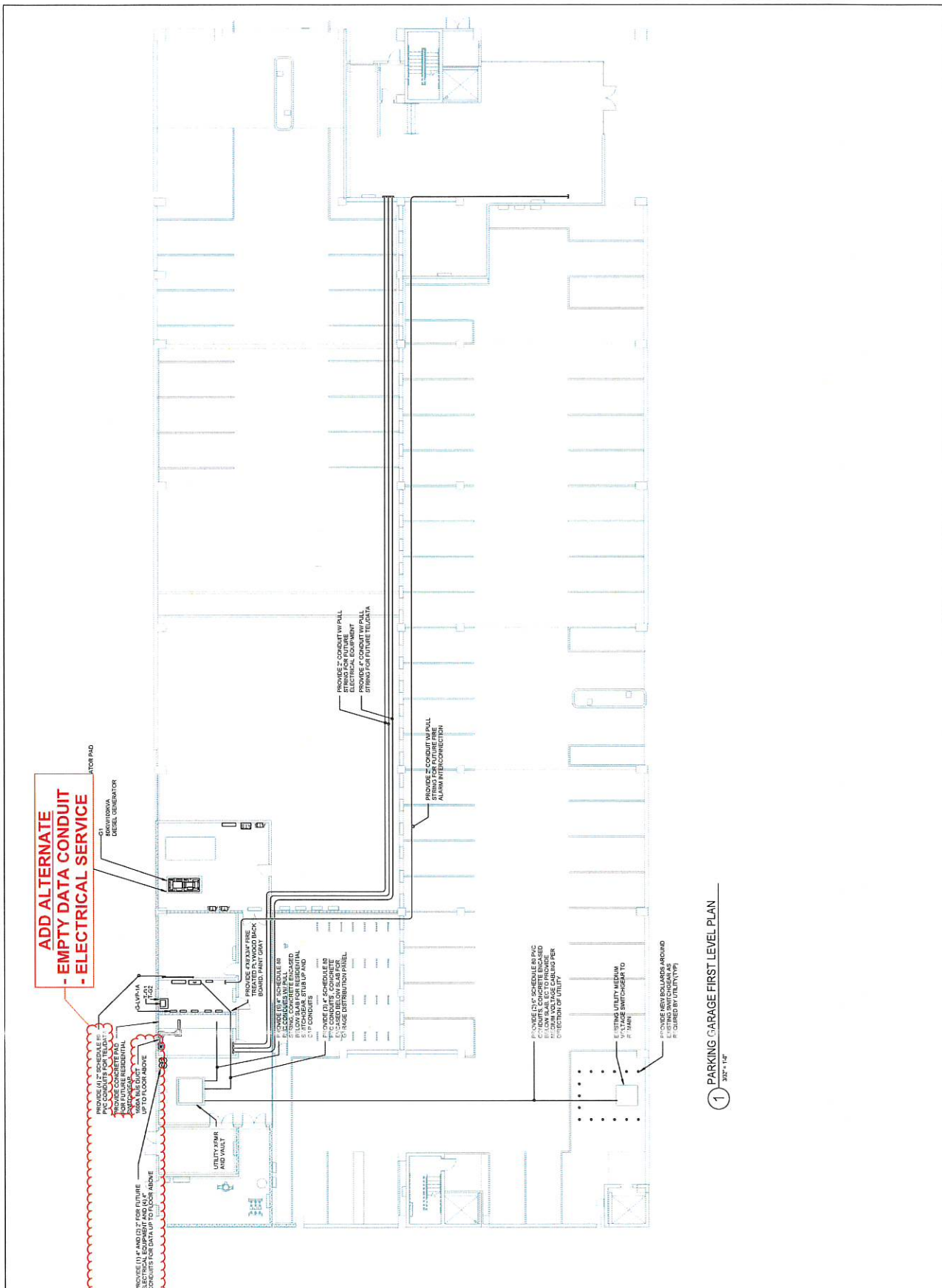
SCALE: AS NOTED

PROJECT: 183 WATER STREET, BINGHAMTON, NY

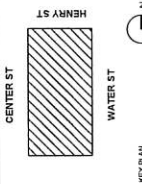
CLIENT: CJS ARCHITECTS

DESIGNER: ECIB ENGINEERING P.C.

E100



1 PARKING GARAGE FIRST LEVEL PLAN
3/8" = 1' = 0"



WATER STREET PARKING GARAGE
183 WATER STREET
BINGHAMTON, NY

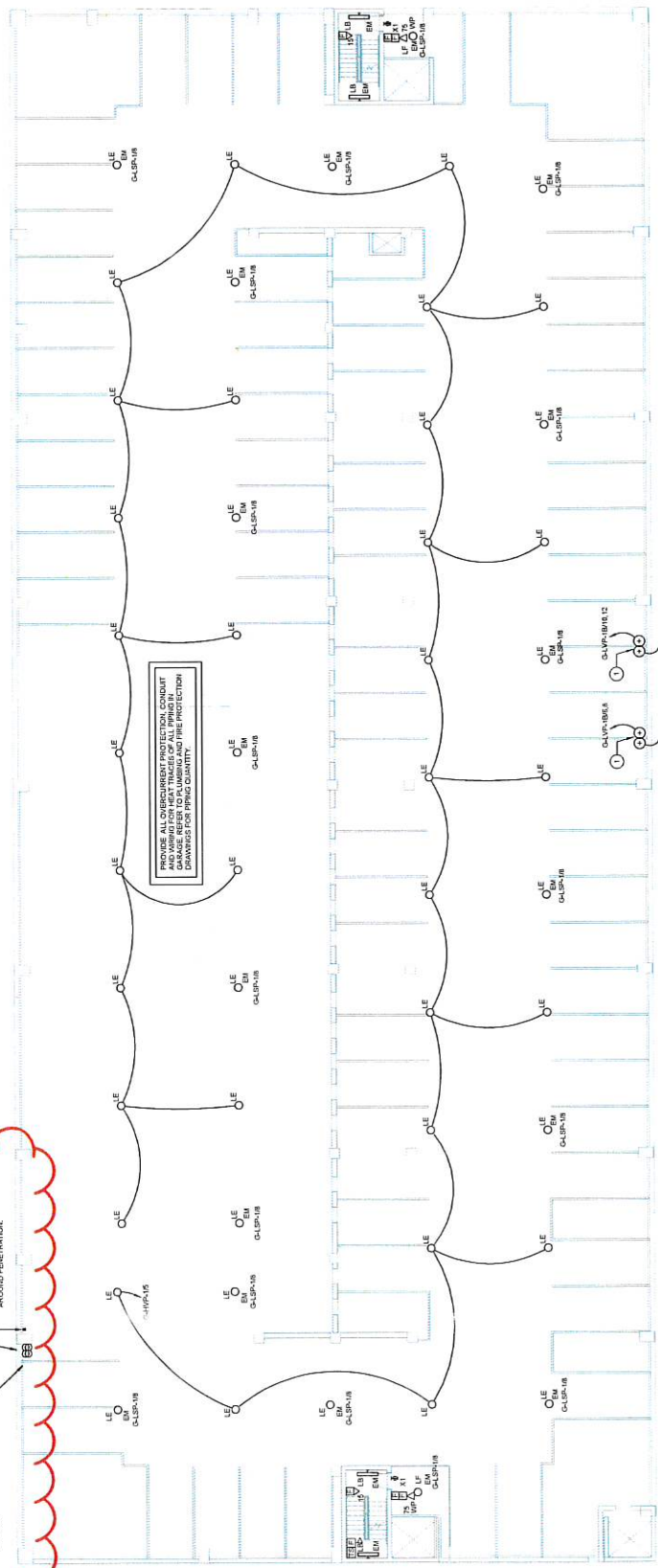
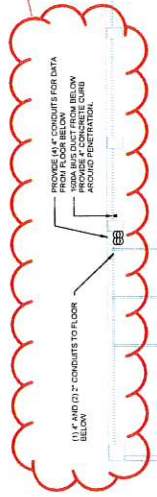
REV	DESCRIPTION	DATE

JOB NO.	201180
SCALE	AS NOTED
ISSUE DATE	02/20/23
DRAWN BY	RS
CHECKED BY	ES

DRAWING TITLE
PARKING GARAGE SECOND LEVEL PLAN

E112

**ADD ALTERNATE
- EMPTY DATA CONDUIT
- ELECTRICAL SERVICE**



GENERAL NOTES:
A. REFER TO SHEET E111 FOR GENERAL HOTEL.

DRAWING NOTES:
1. PROVIDE 1/2" SINGLE PHASE AIR POWER CONNECTIONS TO CAR GARAGE. FEED FROM 100AMP CIRCUIT BREAKER IN PANEL SHOWN. CONDUITS PROVIDE CONDUIT WITH WALL STRONG.

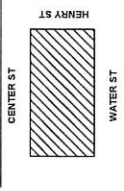
1 PARKING GARAGE SECOND LEVEL PLAN
302'-11/2"



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 www.cjsarchitects.com

ECIB ENGINEERS P.C.
 1000 Main Street
 Buffalo, NY 14202
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 Fax: (716) 834-1173
 www.ecib.com

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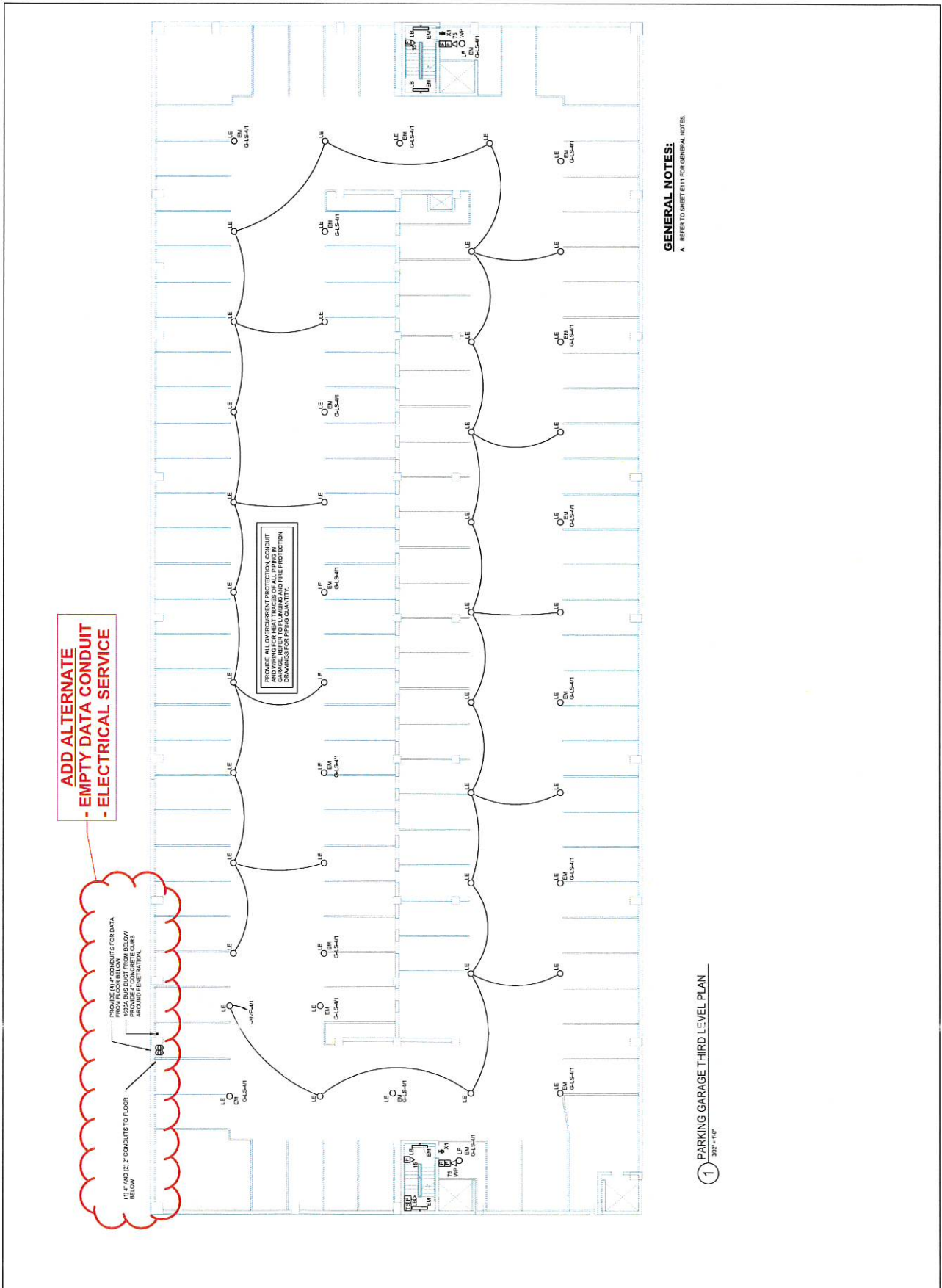
Client Name
 WATER STREET
 PARKING GARAGE
 183 WATER STREET
 BINGHAMTON, NY

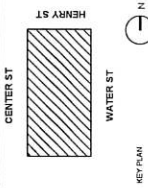
REV. #1 DESCRIPTION DATE

JOB NO.	221160
SCALE	AS NOTED
ISSUE DATE	02/20/22
DRAWN BY	RS
CHECKED BY	EB

DRAWING TITLE
 PARKING GARAGE THIRD LEVEL PLAN

E113



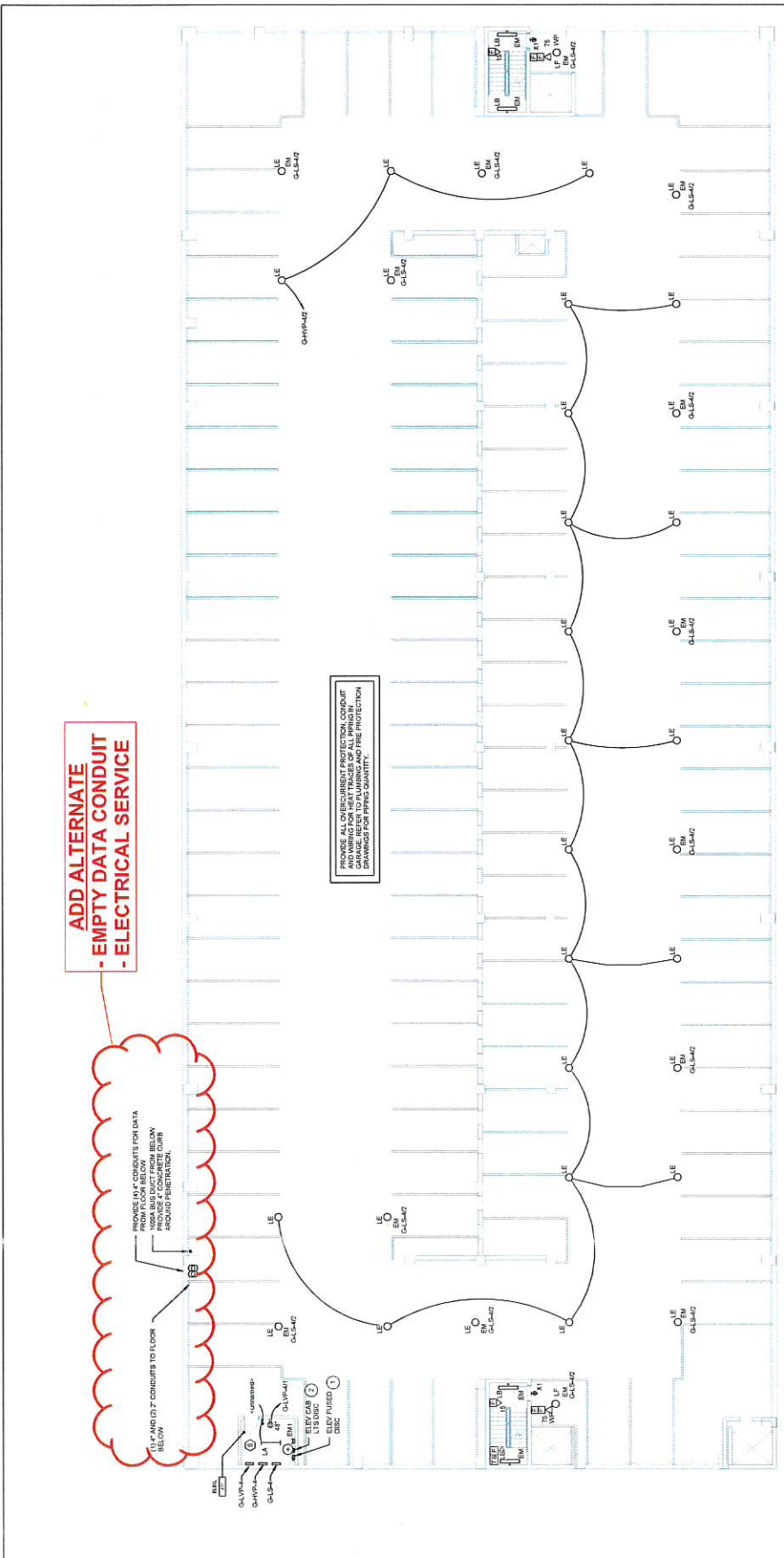


REV. #	DESCRIPTION	DATE

JOB NO.	21180
SCALE	AS NOTED
ISSUE DATE	02/20/23
DRAWN BY	RS
CHECKED BY	EJS

DRAWING TITLE
PARKING GARAGE FOURTH LEVEL PLAN

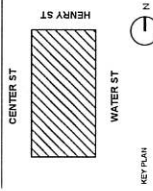
E114



GENERAL NOTES:
A. REFER TO SHEET E111 FOR GENERAL NOTES.

DRAWING NOTES:
1. PROVIDE 200V, 3 PHASE, 100A FUSED, 180A 3R LOCKABLE ELECTRICAL SERVICE TO THE GARAGE FROM THE ELECTRICAL EQUIPMENT AND CONTROL SCHEDULE FOR FEEDER FROM THE MAIN ELECTRICAL ROOM. PROVIDE ALL NECESSARY CONDUIT TO PURCHASE AND ROUNT AFTER ELEVATION SUBMITTAL. CONTRACTOR SHALL MAKE ALL NECESSARY CHANGES.
2. PROVIDE ALL OVERCURRENT PROTECTION, CONDUIT AND WIRING FOR HEAT TRACES OF ALL BRINGS IN FROM FLOOR BELOW. PROVIDE ALL OVERCURRENT PROTECTION DRAWINGS FOR PIPING QUANTITY.
3. CONNECT WITH MAINLINE TO CONDUIT TO USE ELECTRICIAN LIGHTS.

1 PARKING GARAGE FOURTH LEVEL PLAN
3/2" = 1'-0"



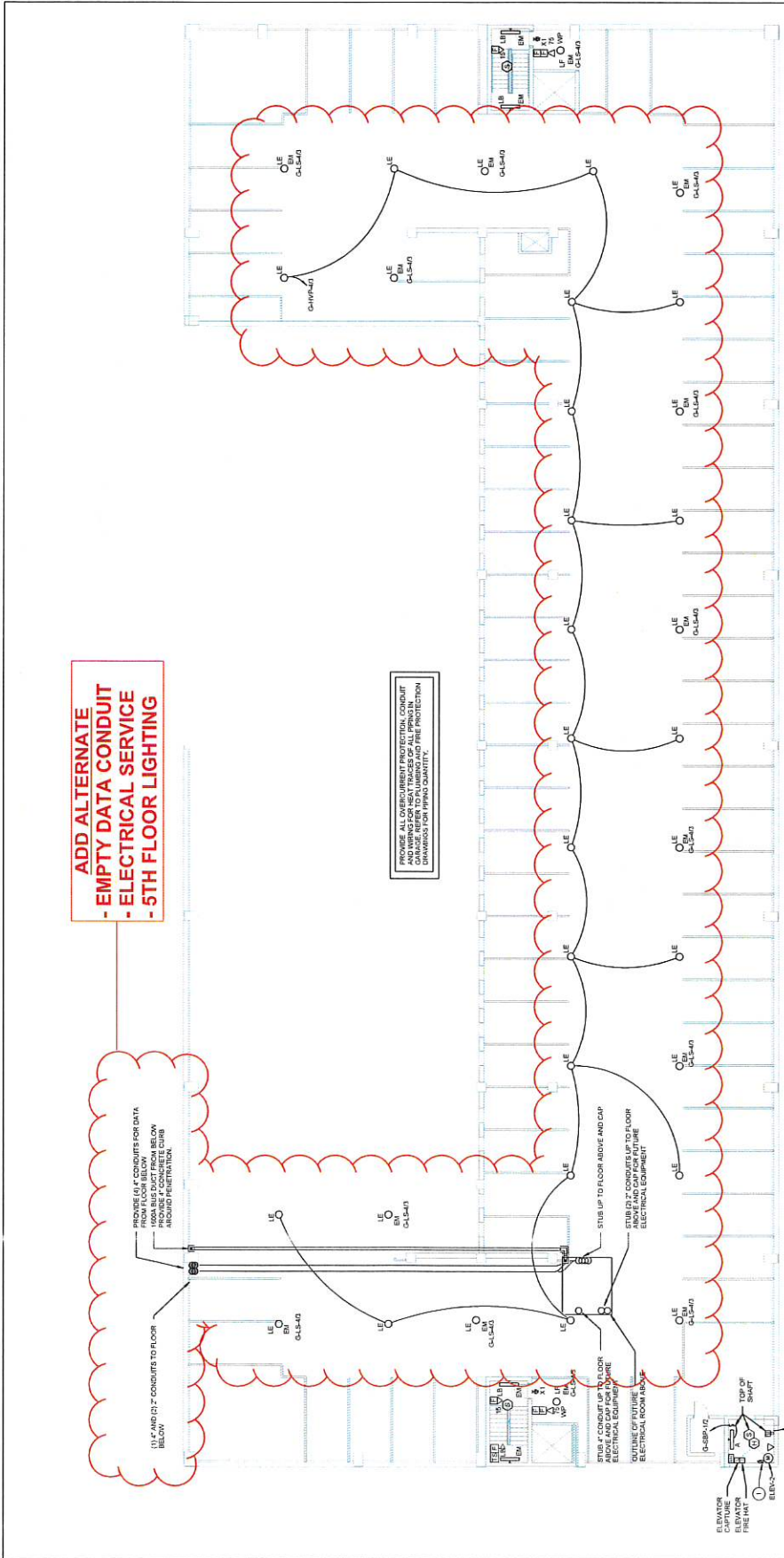
Client Name
**WATER STREET
PARKING GARAGE**
180 WATER STREET
BINGHAMTON, NY

REV. #	DESCRIPTION	DATE

JOB NO.	221160
SCALE	AS NOTED
ISSUE DATE	02/23/23
DRAWN BY	RS
CHECKED BY	EAS

DRAWING TITLE
**PARKING
GARAGE FIFTH
LEVEL PLAN**

E115



GENERAL NOTES:
A. REFER TO SHEET E111 FOR GENERAL NOTES

DRAWING NOTES:

- 1. PROVIDE 200V, 3 PHASE, 100A, 400V, 100A IN LOCKABLE ELECTRICAL EQUIPMENT AND CONTROL SCHEDULE FOR FUTURE PROVIDER. PROVIDER SHALL BE RESPONSIBLE FOR SUBMITTAL PRIOR TO PACKAGE AND ROOM IN PER SELECTION SUBMITTAL. CONTRACTOR SHALL MAKE ALL NECESSARY CHANGES.

1. PARKING GARAGE FIFTH LEVEL PLAN
322' x 142'



REV	DESCRIPTION	DATE
1	100% CONSTRUCTION DOCUMENTS	05-23-20

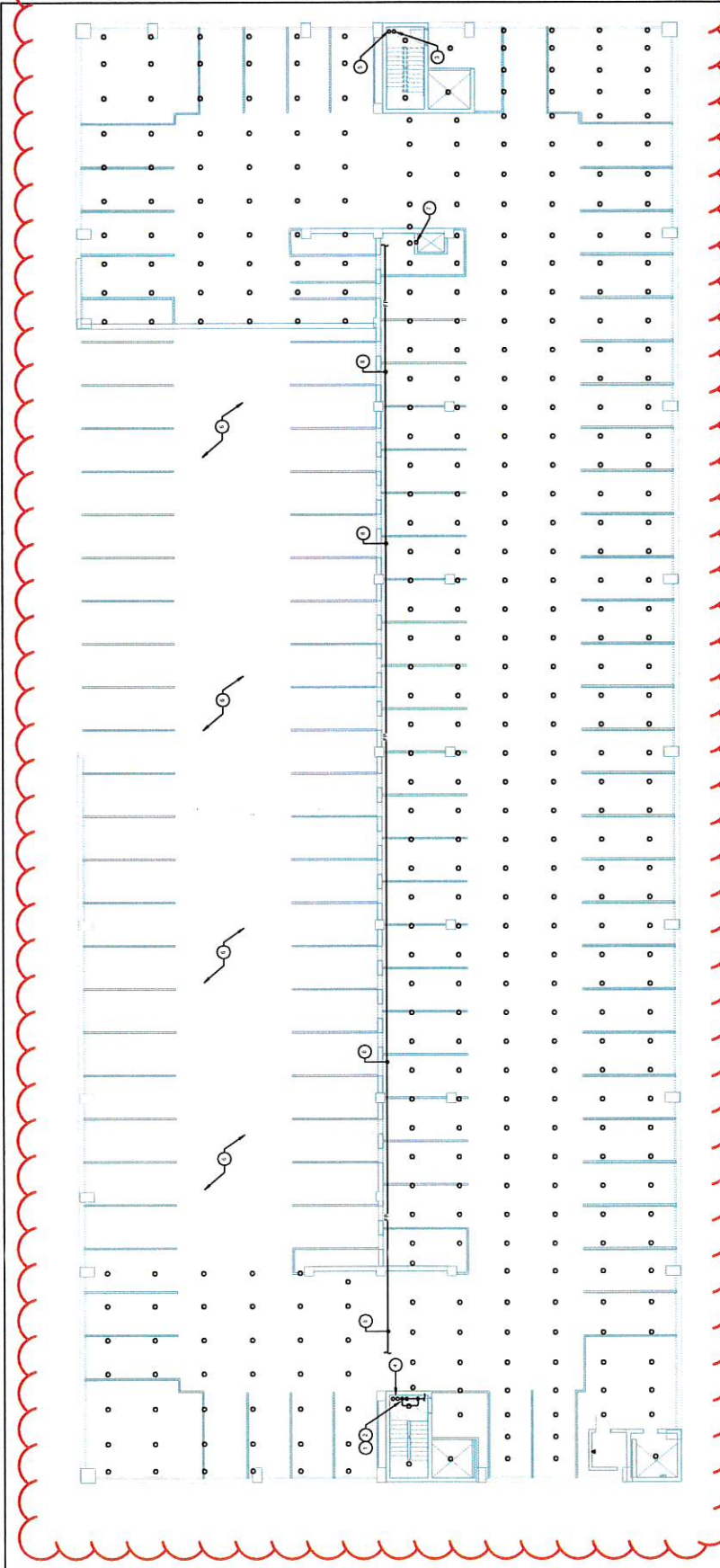
JOB NO.	201119
SCALE	AS NOTED
ISSUE DATE	02/20/20
DRAWN BY	WAB
CHECKED BY	MMB

DATE PLOTTED: 05/23/20 10:52 AM
PLOTTER: HP DesignJet T1200
PLOT SCALE: 1"=1'-0"

DRAWING TITLE

PARKING GARAGE FIFTH LEVEL PLAN

FP115



DRAWING NOTES:

- 1. SPRINKLER CONTROL AND DRY VALVE ASSEMBLY REFER TO DETAIL DRAWINGS.
- 2. SPRINKLER STANDPIPE AND EXPRESS MAIN REFER TO DETAIL DRAWINGS.
- 3. DRY SPRINKLER STANDPIPE WITH HOSE STATION IN STAIRWELL REFER TO DETAIL DRAWINGS.
- 4. PROVIDE HOSE CONNECTIONS AND SPACES DIMS FOR FUTURE APARTMENTS. PROVIDE HOSE TRACES ON RISERS.
- 5. WET SPRINKLER STANDPIPE FOR FUTURE APARTMENT. PROVIDE HOSE TRACE ON RISER.
- 6. OTHER FUTURE RISERS AND SPRINKLER COVERS.
- 7. WET RISER FOR FUTURE TRASH CHUTE. PROVIDE HOSE TRACE ON RISER.
- 8. DRY SPRINKLER MAIN TO SERVE GARAGE SPRINKLERS.

GENERAL NOTES:

- A. COORDINATE ALL SPRINKLER MAINS, BRANCHES AND HEAD LOCATIONS WITH ALL OTHER TRADES.
- B. ALL SPRINKLER SYSTEMS SHALL BE INSTALLED ACCORDING TO NFPA 13.
- C. PROVIDE FULL SPRINKLER COVERAGE FOR ALL CONCEALED SPACES PER NFPA 13.
- D. 4" CP PER NFPA.
- E. PROVIDE DRY SPRINKLER HEADS IN ALL CONCEALED SPACES PER NFPA 13. PROVIDE HOSE TRACE AS SPECIFIED ON WET SPRINKLER FIRE LINES AS SHOWN ON DETAIL DRAWINGS. PROVIDE HOSE TRACES TO ALL CONCEALED SPACES PER NFPA 13. PROVIDE HOSE TRACES TO ALL CONCEALED SPACES PER NFPA 13. PROVIDE HOSE TRACES TO ALL CONCEALED SPACES PER NFPA 13. PROVIDE HOSE TRACES TO ALL CONCEALED SPACES PER NFPA 13.

THIS BUILDING SHALL BE PROTECTED BY AN AUTOMATIC DRY SPRINKLER SYSTEM PER NFPA 13.

**ADD ALTERNATE
- FIRE PROTECTION COVERAGE OF 5TH FLOOR**

1 PARKING GARAGE FIFTH LEVEL PLAN
1/8" = 1'-0"



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13 Schenck Plaza
Buffalo, NY 14203
Phone: (716) 835-4172
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100% CONSTRUCTION DOCUMENTS

Client Name

**WATER STREET
PARKING GARAGE**

183 WATER STREET
BROOKHOLM, NY

REV #	DESCRIPTION	DATE
1	PRELIMINARY	03/05/23

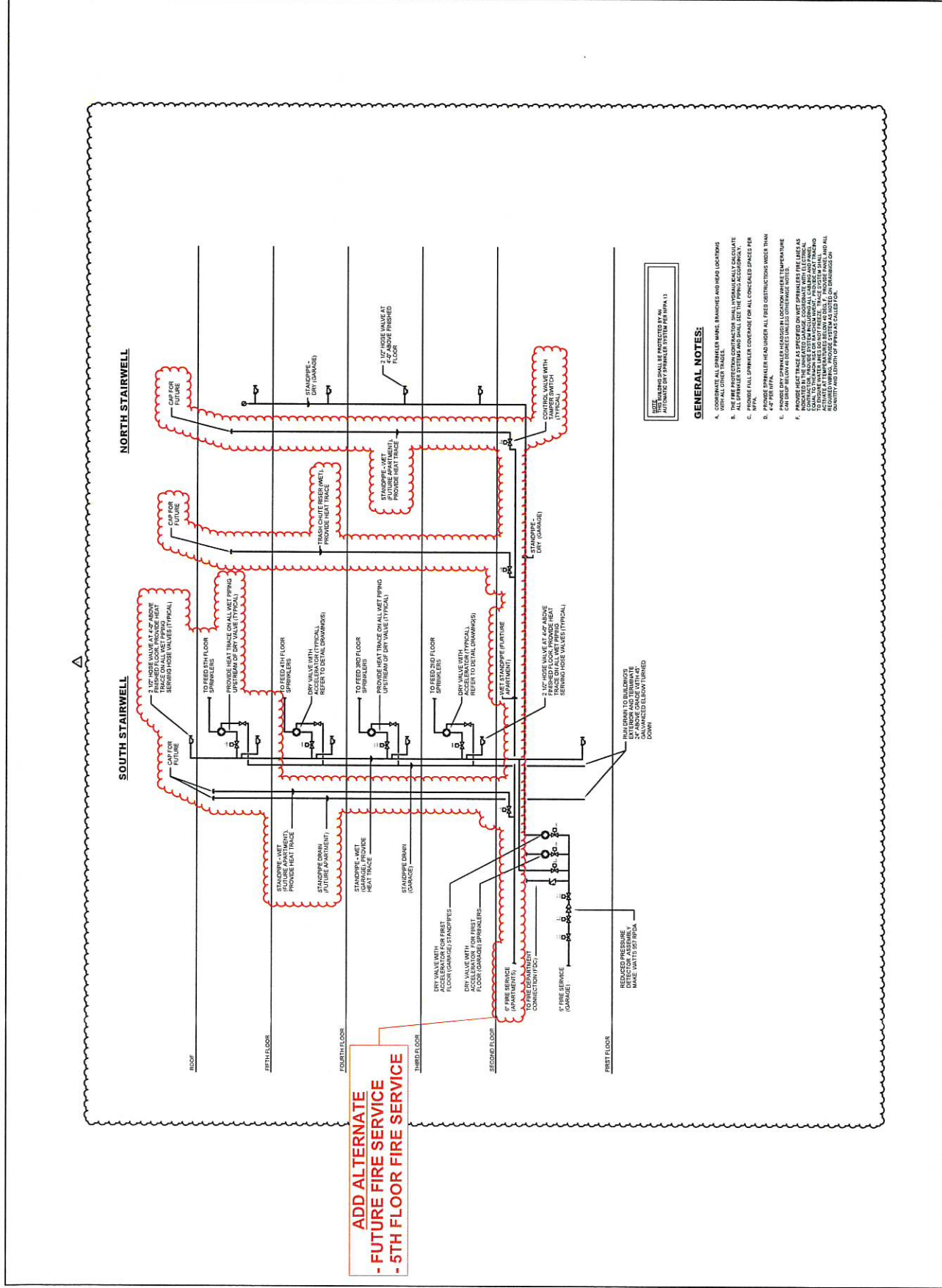
JOB NO.	21190
SCALE	AS NOTED
ISSUE DATE	03/05/23
DRAWN BY	WAB
CHECKED BY	MMO

THIS IS A SCHEDULE OF WORK
FOR INFORMATION ONLY. IT IS NOT
TO BE USED AS A BASIS FOR
CONTRACT ADMINISTRATION.
DRAWING TITLE

RISER DIAGRAM

FP301

Sheet 1

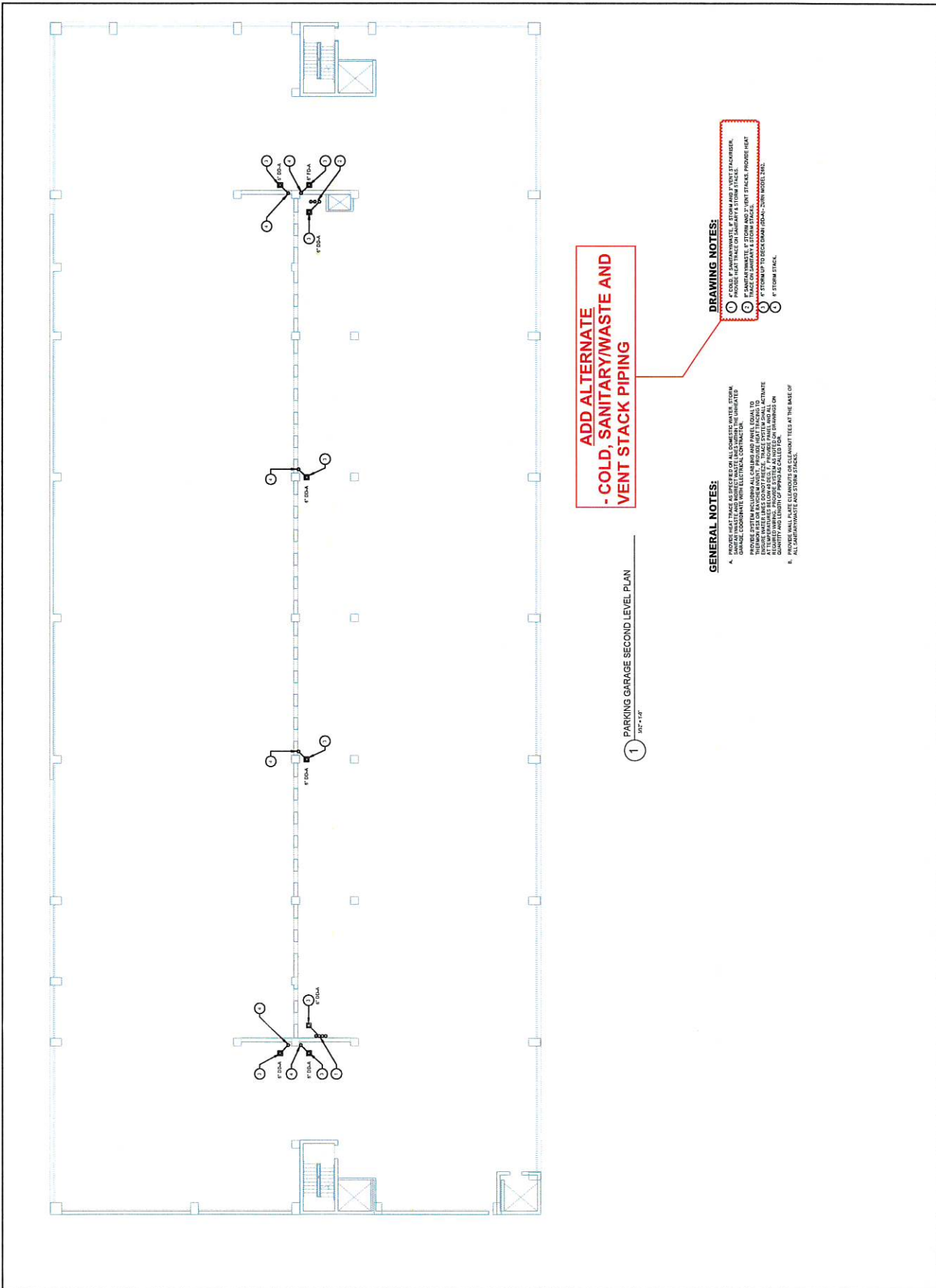


**ADD ALTERNATE
- FUTURE FIRE SERVICE
- 5TH FLOOR FIRE SERVICE**

SEE
HYDRAULIC CALCULATION SYSTEM (HYSHA 11)

GENERAL NOTES:

- A. COORDINATE ALL RISERS IN WALLS, BRANCHES AND RISER LOCATIONS WITH ALL OTHER TRADES.
- B. THE FIRE PROTECTION CONTRACTOR SHALL HYDRAULICALLY CALCULATE THE RISER SYSTEM TO VERIFY THE RISER SIZE AND SPACER SIZE FOR ALL CONCRETE SPACES PER NFPA.
- C. PROVIDE FULL SPRINKLER COVERAGE FOR ALL CONCRETE SPACES PER NFPA.
- D. ALL FIRE SPRINKLER HEADS UNDER ALL FIBER OBSTRUCTIONS WISE THAN 1/2" ABOVE THE HEAD.
- E. PROVIDE DRY SPRINKLER HEADS IN LOCATION WHERE TEMPERATURE COMPENSATION IS REQUIRED UNLESS OTHERWISE NOTED.
- F. PROVIDE DRY SPRINKLER HEADS IN LOCATION WHERE TEMPERATURE COMPENSATION IS REQUIRED UNLESS OTHERWISE NOTED.
- G. PROVIDE DRY SPRINKLER HEADS IN LOCATION WHERE TEMPERATURE COMPENSATION IS REQUIRED UNLESS OTHERWISE NOTED.
- H. PROVIDE DRY SPRINKLER HEADS IN LOCATION WHERE TEMPERATURE COMPENSATION IS REQUIRED UNLESS OTHERWISE NOTED.
- I. PROVIDE DRY SPRINKLER HEADS IN LOCATION WHERE TEMPERATURE COMPENSATION IS REQUIRED UNLESS OTHERWISE NOTED.
- J. PROVIDE DRY SPRINKLER HEADS IN LOCATION WHERE TEMPERATURE COMPENSATION IS REQUIRED UNLESS OTHERWISE NOTED.



**ADD ALTERNATE
- COLD, SANITARY/WASTE AND
VENT STACK PIPING**

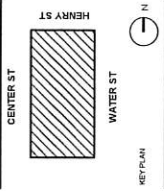
1) PARKING GARAGE SECOND LEVEL PLAN
3/16" = 1'-0"

GENERAL NOTES:

- A. PROVIDE ALL PIPING AS SHOWN UNLESS NOTED OTHERWISE. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN.
- B. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN.
- C. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN.
- D. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN.
- E. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN. PROVIDE ALL PIPING WITH SLOPE AND SUPPORTS AS SHOWN.

DRAWING NOTES:

1. ROOM 101: SANITARY/WASTE PIPING TO BE INSTALLED IN MECHANICAL ROOM.
2. ROOM 102: SANITARY/WASTE PIPING TO BE INSTALLED IN MECHANICAL ROOM.
3. ROOM 103: SANITARY/WASTE PIPING TO BE INSTALLED IN MECHANICAL ROOM.
4. ROOM 104: SANITARY/WASTE PIPING TO BE INSTALLED IN MECHANICAL ROOM.



WATER STREET
PARKING GARAGE

118 WATER STREET
BROOKHOLM, NY

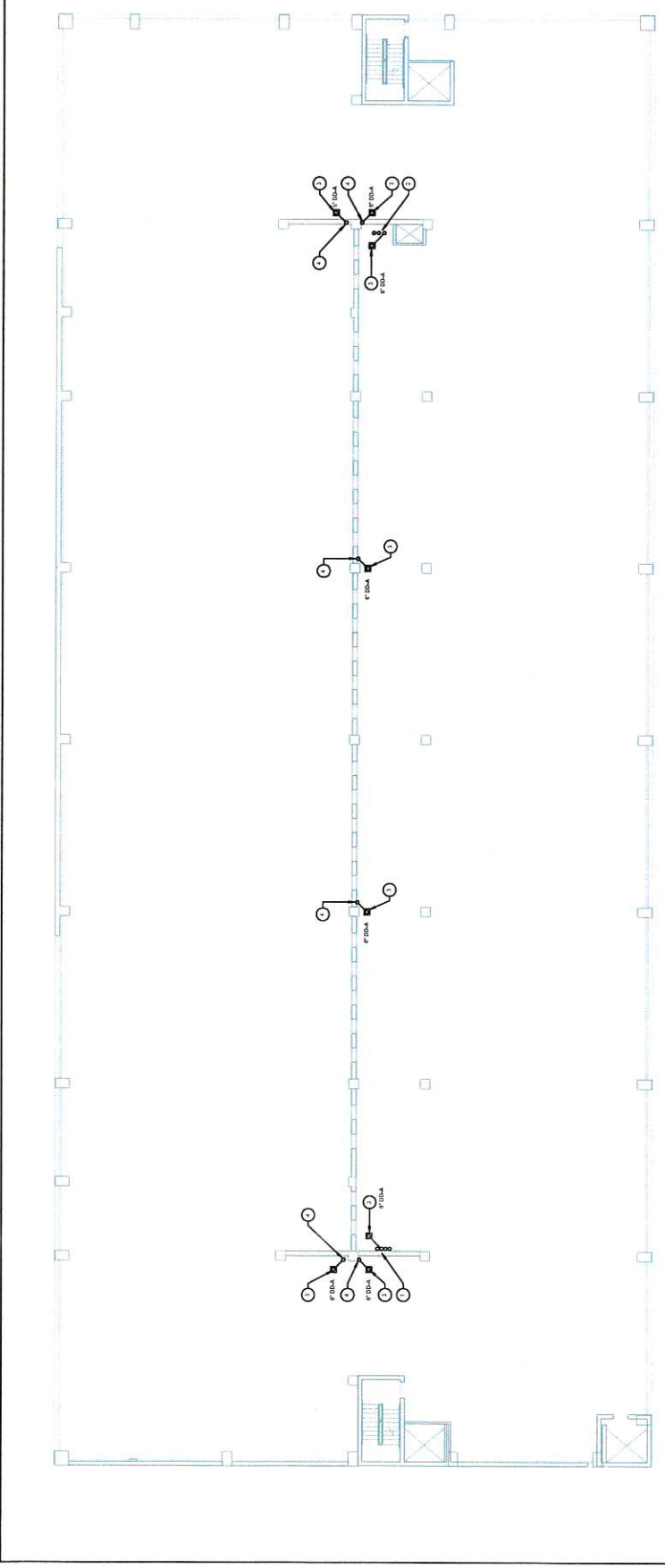
REV. #	DESCRIPTION	DATE
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JOB NO.	21116
SCALE	AS NOTED
ISSUE DATE	02/23/21
DRAWN BY	WAB
CHECKED BY	RMG

TOTAL SQUARE FEET OF WORK:
PLUMBING: 118 WATER STREET
MECHANICAL: 118 WATER STREET
ELECTRICAL: 118 WATER STREET

DRAWING TITLE
PARKING GARAGE THIRD LEVEL PLAN

P113

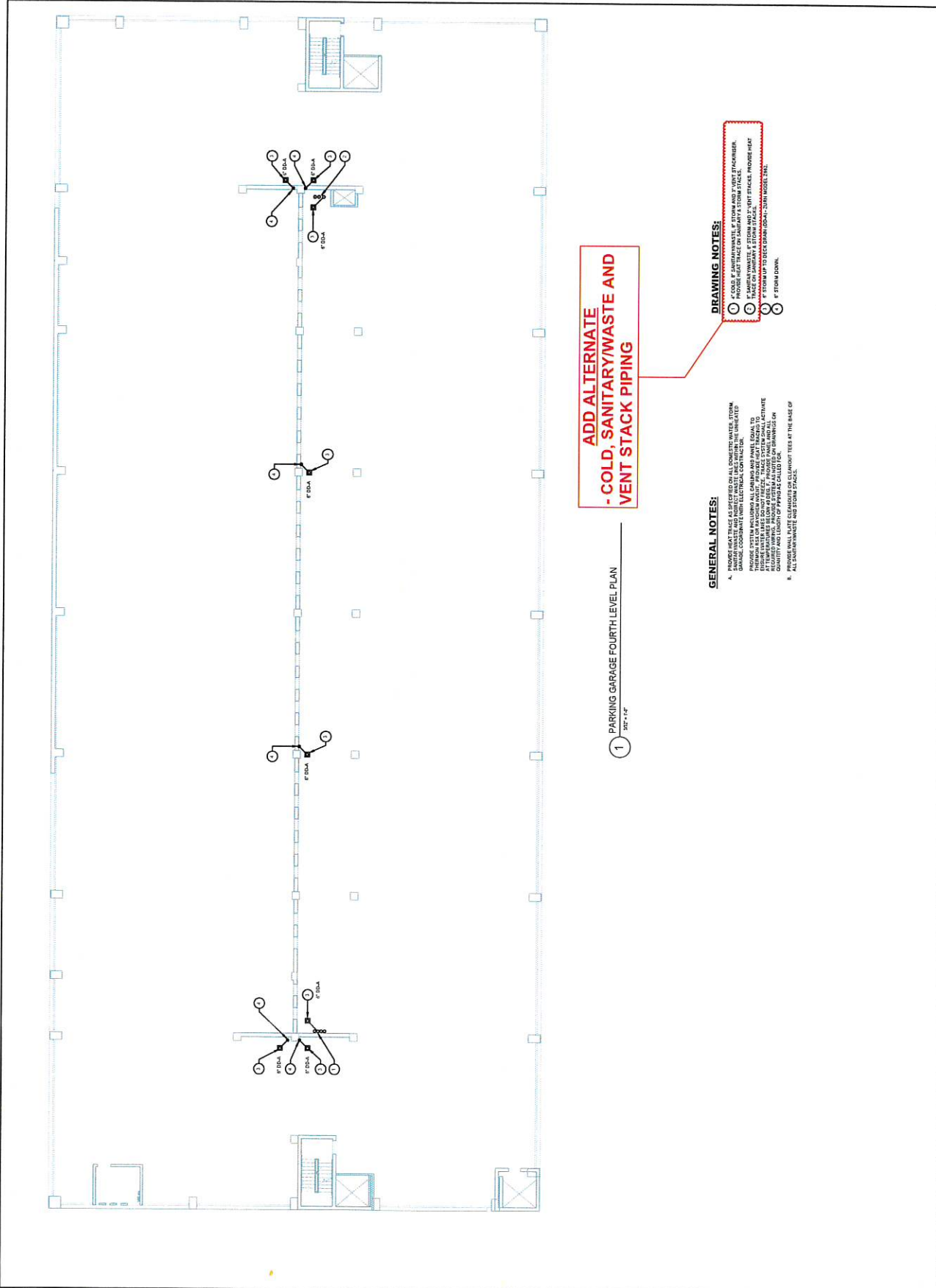


**ADD ALTERNATE
- COLD, SANITARY/WASTE AND
VENT STACK PIPING**

1 PARKING GARAGE THIRD LEVEL PLAN
3/21/21

- DRAWING NOTES:**
- 1 C-COLD, 4" SANITARY WASTE, 4" STORM AND 4" VENT STACKS. PROVIDE HOT TRACES ON SANITARY & STORM STACKS.
 - 2 PLACE ON SANITARY & STORM STACKS.
 - 3 4" STORM UP TO DECK DRAIN (DOWN-JOIN MODEL 234).
 - 4 4" STORM STACK.

- GENERAL NOTES:**
- A. PROVIDE HOT TRACES AS SPECIFIED ON ALL DOMESTIC WATER, STORM DRAINAGE, SANITARY/WASTE, AND VENT STACKS. UNLESS OTHERWISE NOTED, PROVIDE COORDINATE WITH ELECTRICAL CONTRACTOR.
 - B. PROVIDE SYSTEM INCLUDING ALL CASING AND PANEL EQUAL TO UTILITY MANHOLE LIVES (DO NOT TELECAST). THESE SYSTEM SHALL INCLUDE ALL NECESSARY FITTINGS, VALVES, AND CONNECTIONS. PROVIDE ALL NECESSARY FITTINGS AND CONNECTIONS TO BE APPROVED BY THE LOCAL HEALTH DEPARTMENT.
 - C. PROVIDE WALL PLATE CLEARANCES OF CLEAROUT TEES AT THE BASE OF ALL SANITARY/WASTE AND STORM STACKS.

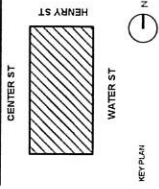


**ADD ALTERNATE
- COLD, SANITARY/WASTE AND
VENT STACK PIPING**

- DRAWING NOTES:**
- 1. CLOSE F JAVAN/WASTE, S STORM AND 2\"/>
 - 2. F SANITARY/WASTE, S STORM AND 2\"/>
 - 3. F STORM UP TO DECK DOWN (DOWN-JOIN ABOVE 2ND)
 - 4. F STORM DOWN.

- GENERAL NOTES:**
- 1. SHOWN PIPING IS ASSUMED TO BE INSTALLED WITHIN THE WATER, STORM AND VENT STACK RISERS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE GRADE COORDINATE WITH ELECTRICAL CONTRACTOR. THE PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CONTRACTOR'S REQUIREMENTS.
 - 2. THROUGH WALL PENETRATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CONTRACTOR'S REQUIREMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CONTRACTOR'S REQUIREMENTS.
 - 3. ALL PENETRATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CONTRACTOR'S REQUIREMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CONTRACTOR'S REQUIREMENTS.
 - 4. ALL PENETRATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CONTRACTOR'S REQUIREMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CONTRACTOR'S REQUIREMENTS.

1 PARKING GARAGE FOURTH LEVEL PLAN
30' x 14'



Client Name

WATER STREET
PARKING GARAGE

10 WATER STREET
BUFFALO, NY

REV. #	DESCRIPTION	DATE
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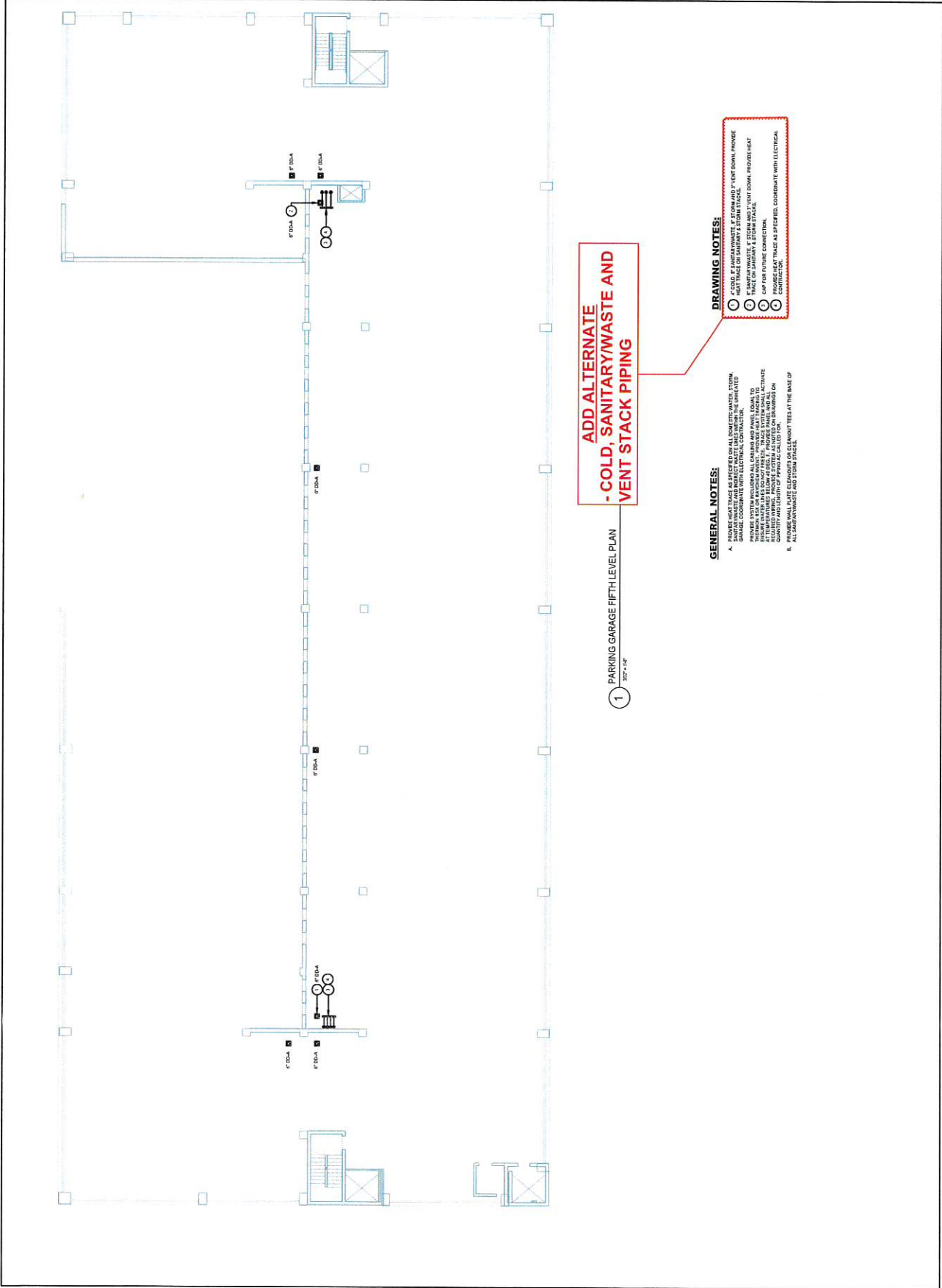
CON. NO.	211190
SCALE	AS NOTED
ISSUE DATE	8/20/20
DRAWN BY	WMS
CHECKED BY	IMG

THIS IS A PRELIMINARY CONSTRUCTION DOCUMENT. IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.

DRAWING TITLE

PARKING
GARAGE FIFTH
LEVEL PLAN

P115



ADD ALTERNATE - COLD, SANITARY/WASTE AND VENT STACK PIPING

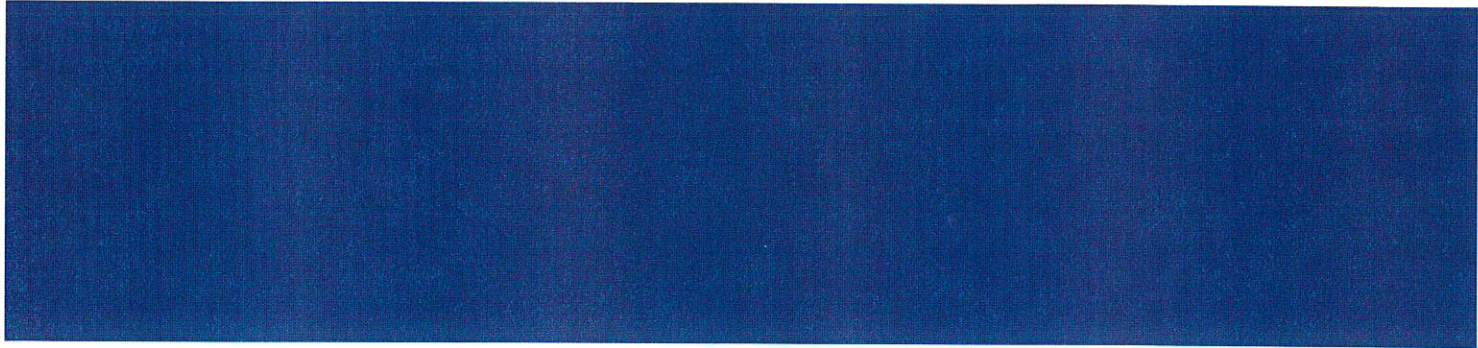
1 PARKING GARAGE FIFTH LEVEL PLAN
20' x 12'

GENERAL NOTES:

- VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

DRAWING NOTES:

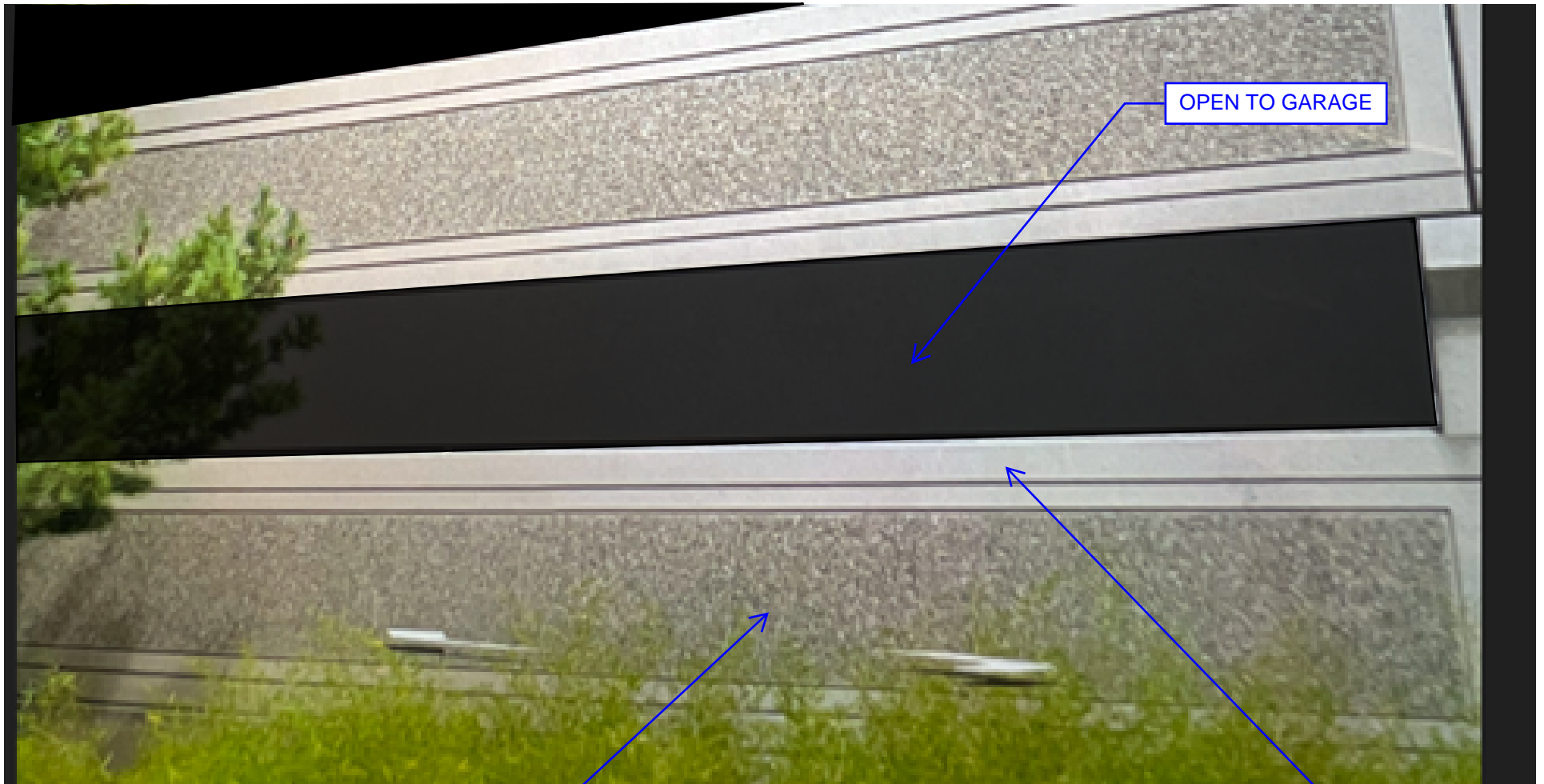
- 4" COLD WATER MAIN AND 2" VENT DOWN, PROVIDE TRAP AND CLEANOUT.
- 4" SANITARY WASTE, 4" DOWN AND 2" VENT DOWN, PROVIDE TRAP AND CLEANOUT.
- 4" CAP FOR FUTURE CONNECTION.
- TRAP AND CLEANOUT TO BE PROVIDED BY ELECTRICAL CONTRACTOR.



Pike

20 Loudonville Road / Albany, New York 12204 / 1.800.264.PIKE

TYPICAL PRECAST SPANDREL PANEL



OPEN TO GARAGE

EXPOSED AGGREGATE FINISH

SMOOTH FINISH